

## Planning Committee (Major Applications) A

Tuesday 8 October 2024

6.30 pm

Ground Floor Meeting Room G02 - 160 Tooley Street, London SE1 2QH

### Membership

Councillor Richard Livingstone (Chair)  
Councillor Kath Whittam (Vice-Chair)  
Councillor Gavin Edwards  
Councillor Esme Hicks  
Councillor Nick Johnson  
Councillor Darren Merrill  
Councillor Reginald Popoola

### Reserves

Councillor Maggie Browning  
Councillor Ellie Cumbo  
Councillor Ketzia Harper  
Councillor Jon Hartley  
Councillor Michael Situ  
Councillor Cleo Soanes  
Councillor Emily Tester

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### INFORMATION FOR MEMBERS OF THE PUBLIC

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#### Access to information

You have the right to request to inspect copies of minutes and reports on this agenda as well as the background documents used in the preparation of these reports.

#### Babysitting/Carers allowances

If you are a resident of the borough and have paid someone to look after your children, an elderly dependant or a dependant with disabilities so that you could attend this meeting, you may claim an allowance from the council. Please collect a claim form at the meeting.

#### Access

The council is committed to making its meetings accessible. For details on building access, translation, provision of signers or any other requirements for this meeting, please contact the person below.

**Contact:** Gerald Gohler on 020 7525 7420 or email: [gerald.gohler@southwark.gov.uk](mailto:gerald.gohler@southwark.gov.uk)

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Members of the committee are summoned to attend this meeting

**Althea Loderick**

Chief Executive

Date: 30 September 2024



# Planning Committee (Major Applications) A

Tuesday 8 October 2024

6.30 pm

Ground Floor Meeting Room G02 - 160 Tooley Street, London SE1 2QH

## Order of Business

Item No.	Title	Page No.
1.	<b>APOLOGIES</b>	
	To receive any apologies for absence.	
2.	<b>CONFIRMATION OF VOTING MEMBERS</b>	
	A representative of each political group will confirm the voting members of the committee.	
3.	<b>NOTIFICATION OF ANY ITEMS OF BUSINESS WHICH THE CHAIR DEEMS URGENT</b>	
	In special circumstances, an item of business may be added to an agenda within five clear days of the meeting.	
4.	<b>DISCLOSURE OF INTERESTS AND DISPENSATIONS</b>	
	Members to declare any personal interests and dispensation in respect of any item of business to be considered at this meeting.	
5.	<b>MINUTES</b>	1 - 5
	To approve as a correct record the minutes of the meeting held on 31 July 2024.	
6.	<b>PROPOSED ARTICLE 4 DIRECTION FOR THE WITHDRAWAL OF PART 16 PERMITTED DEVELOPMENT RIGHTS (COMMUNICATIONS DEVELOPMENT) AT THE JUNCTION OF CROXTED ROAD AND NORWOOD ROAD, LONDON SE24 9DA</b>	6 - 16
7.	<b>DEVELOPMENT MANAGEMENT</b>	17 - 21

<b>Item No.</b>	<b>Title</b>	<b>Page No.</b>
<b>7.1.</b>	<b>6-12 VERNEY ROAD, LONDON, SOUTHWARK SE16 3DH</b>	<b>22 - 165</b>
<b>7.2.</b>	<b>CITY BUSINESS CENTRE (ST OLAV'S COURT), LOWER ROAD LONDON SE16 2XB</b>	<b>166 - 256</b>

**ANY OTHER OPEN BUSINESS AS NOTIFIED AT THE START OF THE MEETING AND ACCEPTED BY THE CHAIR AS URGENT**

**EXCLUSION OF PRESS AND PUBLIC**

The following motion should be moved, seconded and approved if the committee wishes to exclude the press and public to deal with reports revealing exempt information:

“That the public be excluded from the meeting for the following items of business on the grounds that they involve the likely disclosure of exempt information as defined in paragraphs 1-7, Access to Information Procedure rules of the Constitution.”

Date: 30 September 2024



## Planning Committee (Major Applications)

### Guidance on conduct of business for planning applications, enforcement cases and other planning proposals

1. The reports are taken in the order of business on the agenda.
2. The officers present the report and recommendations and answer points raised by members of the committee.
3. The role of members of the planning committee (major applications) is to make planning decisions openly, impartially, with sound judgement and for justifiable reasons in accordance with the statutory planning framework.
4. The following may address the committee (if they are present and wish to speak) for **not more than 3 minutes each**.

- |   |
|---|
| <ol style="list-style-type: none"><li>(a) One representative (spokesperson) for any objectors. If there is more than one objector wishing to speak, the time is then divided within the 3-minute time slot.</li><li>(b) The applicant or applicant's agent.</li><li>(c) One representative for any supporters (who live within 100 metres of the development site).</li><li>(d) Ward councillor (spokesperson) from where the proposal is located.</li><li>(e) The members of the committee will then debate the application and consider the recommendation.</li></ol> |
|---|

**Note:** Members of the committee may question those who speak only on matters relevant to the roles and functions of the planning committee that are outlined in the constitution and in accordance with the statutory planning framework.

5. If there are a number of people who are objecting to, or are in support of, an application or an enforcement of action, you are requested to identify a representative to address the committee. If more than one person wishes to speak, the 3-minute time allowance must be divided amongst those who wish to speak. Where you are unable to decide who is to speak in advance of the meeting, you are advised to meet with other objectors in the foyer of the council offices prior to the start of the meeting to identify a representative. If this is not possible, the chair

will ask which objector(s) would like to speak at the point the actual item is being considered.

6. Speakers should lead the committee to subjects on which they would welcome further questioning.
7. Those people nominated to speak on behalf of objectors, supporters or applicants, as well as ward members, should sit on the front row of the public seating area. This is for ease of communication between the committee and the speaker, in case any issues need to be clarified later in the proceedings; it is **not** an opportunity to take part in the debate of the committee.
8. Each speaker should restrict their comments to the planning aspects of the proposal and should avoid repeating what is already in the report. The meeting is not a hearing where all participants present evidence to be examined by other participants. **As meetings are usually livestreamed, speakers should not disclose any information they do not wish to be in the public domain.**
9. This is a council committee meeting which is open to the public and there should be no interruptions from the audience.
10. No smoking is allowed at committee.
11. Members of the public are welcome to film, audio record, photograph, or tweet the public proceedings of the meeting; please be considerate towards other people in the room and take care not to disturb the proceedings.

**Please note:**

Those wishing to speak at the meeting should notify the constitutional team by email at [ConsTeam@southwark.gov.uk](mailto:ConsTeam@southwark.gov.uk) in advance of the meeting by **5pm** on the working day preceding the meeting.

**The arrangements at the meeting may be varied at the discretion of the chair.**

**Contacts:** General Enquiries  
Planning Section  
Resources  
Tel: 020 7525 5403

Planning Committee Clerk, Constitutional Team  
Governance and Assurance  
Tel: 020 7525 7420



## Planning Committee (Major Applications) A

MINUTES of the Planning Committee (Major Applications) A held on Wednesday 31 July 2024 at 6.30 pm at Ground Floor Meeting Room G02 - 160 Tooley Street, London SE1 2QH

**PRESENT:** Councillor Richard Livingstone (Chair)  
 Councillor Gavin Edwards  
 Councillor Ketzia Harper (Reserve)  
 Councillor Esme Hicks  
 Councillor Nick Johnson  
 Councillor Reginald Popoola

**OTHER MEMBERS PRESENT:** Councillor Irina von Wiese

**OFFICER SUPPORT:** Colin Wilson (Head of Strategic Development)  
 Jonathan Welch (External Legal Counsel, FTB Chambers)  
 Dipesh Patel (Group Manager - Major Applications and New Homes Team)  
 Richard Craig (Team Leader, Design and Conservation)  
 Tim Cutts (Senior Regeneration Manager)  
 Richard Pearce (Senior Strategy Officer)  
 Matt Redman (Senior Planning Officer)  
 Nils Bendle (Strategy Officer)  
 Gerald Gohler (Constitutional Officer)

### 1. APOLOGIES

There were apologies for absence from Councillors Darren Merrill and Kath Whittam.

### 2. CONFIRMATION OF VOTING MEMBERS

Those members listed as present above were confirmed as the voting members for the meeting.

**3. NOTIFICATION OF ANY ITEMS OF BUSINESS WHICH THE CHAIR DEEMS URGENT**

The chair drew members' attention to the addendum report and members' pack which had been circulated before the meeting.

**4. DISCLOSURE OF INTERESTS AND DISPENSATIONS**

The following member declared an interest in item:

**6. Release of Section 106 monies - Bramcote Park and former Kentish Drovers pub**

Councillor Richard Livingstone, non-prejudicial, because while the sites in question were in his ward, he did not have any prejudicial interest in this item.

**5. MINUTES**

**RESOLVED:**

That the minutes of the meeting of Planning Committee (Major Applications) A held on 12 June 2024 be approved as a correct record and signed by the chair.

**6. RELEASE OF SECTION 106 MONIES - BRAMCOTE PARK AND FORMER KENTISH DROVER PUB**

**Report:** see pages 4 to 17 of the agenda pack and pages 1 and 2 of the addendum report.

Tim Cutts introduced the report, drawing members' attention to the addendum report.

Officers responded to questions put by members of the committee.

Members asked officers to ensure that involvement with the wider community regarding Bramcote Park would be maintained to safeguard public access to the park.

A motion to agree the recommendations set out in the report and amended by the addendum report was moved, seconded, put to the vote and declared carried.

**RESOLVED:**

1. That the release of £697,981.83 of Section 106 funding from legal agreements in Old Kent Road ward to deliver the redesigning, hard and soft landscaping of Bramcote Park, Verney Road SE16 be approved.
2. That the release of £208,163.27 of Section 106 funding from the legal agreement at 709 Old Kent Road (London Power Tunnels II project) to deliver the renewal of the Grade II Listed Mural at the former Kentish Drovers public house, 720 Old Kent Road be approved.
3. That the director of planning and growth be authorised to apply the funding released to the projects within recommendations 1 and 2 above.

**7. EMPLOYMENT AND TRAINING PROGRAMME: TO RELEASE £3,075,169.93 FROM THE S106 AGREEMENTS ACROSS THE BOROUGH**

**Report:** see pages 18 to 35 of the agenda pack.

Richard Pearce introduced the report.

There were no questions put by members of the committee.

A motion to agree the recommendation set out in the report was moved, seconded, put to the vote and declared carried.

**RESOLVED:**

That the release of funds totalling £3,075,169.93 S106 funding from the agreements listed in Appendix 1 of the report, in order to deliver employment and training programmes across Southwark, be agreed.

**8. DEVELOPMENT MANAGEMENT**

**RESOLVED:**

1. That the determination of planning applications, or formal observations and comments, the instigation of enforcement action and the receipt of the reports included in the attached items were considered.
2. That the decisions made on the planning applications be subject to the conditions and/or made for the reasons set out in the attached reports unless otherwise stated be agreed.
3. That where reasons for decisions or conditions were not included or not as



included in the reports relating to an individual item, they be clearly specified and agreed.

## 8.1 FRIARS CLOSE BEAR LANE LONDON SOUTHWARK SE1

### Planning Application Numbers: 22/AP/4376

**Report:** see pages 41 to 209 of the agenda pack and pages 2 to 5 of the addendum report.

### PROPOSAL:

*Demolition of all existing residential buildings and ancillary structures on site. Construction of residential homes (Use Class C3) and flexible community & learning (Use Classes F1 & F2) floorspace; roof plant enclosure; cycle and vehicle parking; highway and access improvements; and landscape and public realm improvements. The new building would comprise a part nine, part twenty-two storey building to deliver 149 new homes.*

The committee heard the officer's introduction to the report and addendum report. Members put questions to officers.

Representatives of the objectors addressed the committee and responded to questions put by members of the committee.

The applicant's representatives addressed the committee and answered questions put by members of the committee.

A supporter of the application living within 100 metres of the development site addressed the committee. The committee did not ask questions of the supporter.

Councillor Irina von Wiese addressed the committee in her capacity as a ward councillor and responded to questions from members of the committee.

The meeting took a five-minute comfort break from 20:30 to 20:35.

The committee put further questions to officers and discussed the application.

Members asked for the following to be included in the Section 106 agreement: that council officers be included in the consultations around service charge rises that will be conducted after the three years.

A motion to grant planning permission was moved, seconded, put to the vote and declared carried.

**RESOLVED:**

1. That planning permission be granted subject to the conditions set out in the report and addendum report, the applicant entering into an appropriate legal agreement, and referral to the Mayor of London.
2. In the event that the requirements of paragraph 1 above are not met by 31 December 2024 the director of planning and growth be authorised to refuse planning permission, if appropriate, for the reasons set out in paragraph 437 of the report.
3. That the director of planning and growth be authorised under delegated authority to make any minor modifications to the proposed conditions and S106 obligations arising out of detailed negotiations with the applicant or the Mayor of London, which may necessitate further modification and may include the variation, addition, or deletion of the conditions as drafted.

The meeting ended at 21:03.

**CHAIR:**

**DATED:**

<b>Meeting Name:</b>	Planning Committee (Major Applications) A
<b>Date:</b>	8 October 2024
<b>Report title:</b>	Proposed Article 4 Direction for the withdrawal of Part 16 permitted development rights (Communications Development) at the junction of Croxted Road and Norwood Road, London SE24 9DA.
<b>Ward(s) or groups affected:</b>	Dulwich Village
<b>Classification:</b>	Open
<b>Reason for lateness (if applicable):</b>	N/a
<b>From:</b>	Director of Planning and Growth

## RECOMMENDATIONS

That the Planning Committee:

1. Approves the making of an Article 4 Direction (without immediate effect) to withdraw the permitted development rights granted by Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) ('the GPDO') for Communications Development.
2. Delegates to the director of planning and growth the arrangements for making the Article 4 Directions including compliance with the notification requirements under the GPDO.

## BACKGROUND INFORMATION

3. At 294 Croxted Road, at the junction with Norwood Road is the Umana Yana Caribbean Restaurant and Takeaway. It has a frontage with the street of just over 5 metres. The footway of Croxted Road in front of 294 has been progressively filled with communications apparatus, such as cabinets and a mast, details of which are set out below.
4. The junction of Croxted and Norwood Road is at the southwest proximity of the borough on the border with Lambeth. The red line of the site includes 294 Croxted Road and 85 & 87 Norwood Road. To the west of the site is Brockwell Park and to the east the railway viaduct linking Herne Hill Station to Tulse Hill Station.

**Photo 1 – Junction of Croxted Road and Norwood Road**



Wide shot of the corner of Croxted Road and Norwood Road, showing the communications equipment in front of number 294 Croxted Road (outlined in red).

5. The Junction is a prominent location, as both roads are A roads (Norwood A215, Croxted A2199). The buildings on the corner are single storey comprising food retailers and takeaway outlets.
6. The impact of the installed communications apparatus is such that the premises is not visible to traffic travelling north along Norwood Road.
7. The proliferation of communication equipment has had a detrimental impact on the streetscene at this location and the ability of this business to announce and advertise itself in the way that the majority of commercial premises on a shopping parade do.
8. Access to the business in this location is not affected by the communications equipment as the highway is subject to double yellow line parking protection.
9. Attempts to mitigate the impact of the communication development have not been successful. Officers have contacted the relevant communication companies by email and telephone calls to attempt to remove, consolidate or conceal the equipment, but no responses have been received.
10. The installation of the apparatus is believed to have been lawfully installed by communication companies exercising their statutory right to install certain

equipment on the public highway pursuant the GPDO. The council therefore has no ability to require the removal of the apparatus under planning powers.

11. The council can seek to remove permitted development rights so that any further development would need to go through a planning application process to be lawful. Whilst the council is not aware of any proposed further development, it is possible that some equipment may need to be renewed at some stage in the future and would be required to go through a planning application process.
12. 294 Croxted Road is the only site at present in the borough that the council is aware of where the concentration of communication apparatus has such a pronounced impact on one property.

**Photo 2 – Annotated photo of equipment**



Detail of each piece of equipment:

1. Cabinet installed between May 2018 and March 2019
2. Cabinet installed between June 2014 and April 2015
3. Cabinet installed between May 2018 and October 2016
4. Cabinet installed between prior to 2008
5. Cabinet installed between prior to 2008
6. Monopole installed between prior to 2008

13. The council is not aware why this location is so attractive to mobile communication and internet providing companies. It may be that the presence of the park and nearby conservation areas restricts other sites. The low-rise nature of the development possibly gives a mast particularly good coverage at this location. It is also possible that it is convenient for telecoms companies to group equipment together.
14. The Article 4 Direction is proposed to encompass the two adjoining properties at 85 and 87 Norwood Road. Currently there is one piece of equipment outside of 85 Norwood Road. The council is aware that the smallest area possible

should be selected for an Article 4 Direction. However, there is a risk that equipment could be installed outside number 85 and 87 Norwood Road if an Article 4 Direction is limited to the area immediately outside of 294 Croxted Road. Officers consider that further installations outside of 85 and 87 Norwood Road would exacerbate the situation and have a further detrimental impact on the streetscene at this location and the ability of these businesses at this junction to announce and advertise themselves in the way that the majority of commercial premises on a shopping parade do. The intention of the proposed Article 4 Direction is to return control to the council for this development type at this particular location. The council is therefore limiting the direction to the corner of Croxted and Norwood Road, which in its assessment no 85 and 87 Norwood Road forms a part of.

15. The NPPF was updated in December 2023, paragraph 53 which deals with Article 4 Directions reads:

*“The use of Article 4 directions to remove national permitted development rights should:*

...  
...

- (b) in other cases, be limited to situations where an Article 4 direction is necessary to protect local amenity or the well-being of the area (this could include the use of Article 4 directions to require planning permission for the demolition of local facilities) (c) in all cases, be based on robust evidence, and apply to the smallest geographical area possible.*

16. The Government’s Planning Practice Guidance (Paragraph: 038 Reference ID: 13-038-20210820) advises that Article 4 directions should be very carefully targeted, applying only to those locations where they are necessary to avoid wholly unacceptable adverse impacts. The geographical coverage of all Article 4 directions should be the smallest area possible to achieve the aim of the Article 4 direction.
17. Part 16 is a broad category of permitted development rights covering all electronic forms of communication radio and microwave, as well as driver information systems and post boxes. To remove the part in its entirety is rare.
18. The reason for removal is because the site is currently saturated with apparatus. It is perhaps conceivable that a post box outside No 85 might be acceptable, however, on this particular corner control over infrastructure of this nature has been lost. The purpose of the Article 4 Direction is not to thwart all future development, but to regain control.

## **KEY ISSUES FOR CONSIDERATION**

### **Article 4 direction process**

19. An Article 4 Direction can be used to remove specific permitted development rights in all or parts of the local authority’s area. It would not restrict development altogether, but instead ensures that development requires a planning application to be submitted to the council for assessment. Such a planning application would

need to be submitted and be determined in accordance with the development plan, which include the council's planning policies, unless material considerations indicate otherwise.

20. The Government's Planning Practice Guidance (Paragraph: 038 Reference ID: 13-038-20210820) states that an Article 4 Direction to remove national permitted development rights should be limited to situations where this is necessary to protect local amenity or the wellbeing of the area. It also states that in deciding whether an Article 4 Direction would be appropriate, local planning authorities should identify clearly the potential harm that the direction is intended to address.
21. Article 4 Directions can either be made with immediate effect or made without immediate effect. The Article 4 direction proposed in this report will be made without immediate effect because it does not fall within the circumstances which allow for immediate effect (paragraph 2, Schedule 3, GPDO).
22. The process for making an Article 4 Direction without immediate effect is set out at, paragraph 1, Schedule 3, GPDO) and is summarised as follows:
  - Stage 1 - The council makes (drafts) an Article 4 Direction withdrawing permitted development rights;
  - Stage 2 – Publication/Consultation stage. The council:
    - publishes notice of the Article 4 Direction in a local newspaper;
    - places no fewer than 2 site notices within the area to which the direction relates for not less than six weeks; and
    - notifies the owners and occupiers of every part of the land within the area or site to which the Article 4 Direction relates over a period of 21 days.

The notice must specify (amongst other things) a period of at least 21 days, stating the date on which that period begins, within which any representations concerning the direction may be made to the council; and specify the date on which it is proposed that the direction will come into force, which must be at least 28 days but no longer than 2 years after the start of the 21 day period.
  - Stage 3 – Notification to the Secretary of State: On the same day that the first notice is given under Stage 2, the council must send a copy of the Article 4 Direction to the Secretary of State (who does not have to approve the article 4 direction, and will only intervene when there are clear reasons for doing so).
  - Stage 4 – Confirmation Stage - The proposed Article 4 Direction comes into force on the date specified in the notice but does not come into force unless confirmed by the council. Confirmation of the direction cannot take place until after the expiration of a period of at least 28 days following the latest date on which any notice relating to the direction was served or published or such longer period as may be specified by the Secretary of State.
23. In deciding whether to confirm the Article 4 direction the council must take into account any representations received during the 21 day consultation period (Stage 2). Once the Article 4 direction has been confirmed the council shall give

notice of such confirmation to owners/occupiers, display site notices and advertise in a local newspaper; and send a copy to the Secretary of State.

### **Summary of evidence to support making the article 4 direction**

24. As set out earlier in the report, the NPPF sets out that the use of Article 4 Directions to remove permitted development rights should be based on robust evidence and apply to the smallest geographical area possible.
25. Article 4 Directions can be made if the council is satisfied that it is expedient that development should not be carried out unless planning permission is granted on application.
26. The use of an Article 4 Direction would not restrict development altogether, but instead ensure that development requires permission planning application is submitted to the council. Planning permissions for communication installations and apparatus would ensure no further harm is caused to the streetscene and the ability of businesses on this corner to announce and advertise themselves through traditional forms of announcement such as a fascia sign, awning and shop window display without this being obscured by such poorly positioned development.
27. Permitted development rights for communication development are intended to assist with digital development and ensure that the infrastructure needed to support modern communication can be provided without undue delay and regulation. In many instances this provision operates smoothly without objection, but in this particular, limited and hopefully isolated instance the system has clearly failed and allowed a wholly unintended outcome of obscuration of part of a shopping parade contrary to the council's design policies and potentially to the detriment and viability of commercial units at this location.
28. No consultation beyond the consultation required by Schedule 3 of the GPDO is proposed at this stage lest it prompt a further exercise of permitted development rights during the consultation period.

### **Planning applications**

29. If permitted development rights are withdrawn through an Article 4 Direction, planning permission is required, the Council would be obliged to determine the proposal in accordance with the development plan unless material considerations indicate otherwise. The development plan for Southwark includes the London Plan 2021 the Southwark Plan 2022 and adopted area action plans.

### **Community, equalities (including socio-economic) and health impacts**

#### **Community impact statement**

30. The council is working to improve the economic wellbeing of residents and to ensure that Southwark has a strong local economy with opportunities for employment, vibrant centers to do business in and residents equipped with skills and knowledge to access employment. The Article 4 Direction seeks to protect a



very discrete part of the borough and in particular local businesses from suffering from excessive communication apparatus.

### **Equalities (including socio-economic) impact statement**

31. The Public Sector Equality Duty (“PSED”) is set out in section 149 of the Equality Act 2010 which requires the council, in the exercise of its functions, to have due regard to the need to:
  - (a) eliminate discrimination, harassment and victimisation;
  - (b) advance equality of opportunity between persons who share a relevant protected characteristic and those who do not share it;
  - (c) foster good relations between persons who share a relevant protected characteristic and those who do not share it.
32. The protected characteristics identified in the 2010 Act include race, disability, age and religion or belief.
33. Officers have considered the PSED in light of the proposed Article 4 direction. The owners of the current business negatively affected by the communication apparatuses are understood to be Caribbean and race is a protected characteristic.
34. Officers consider it is unlikely that the introduction of the Article 4 Direction will undermine any of the three needs set out in the PSED. It is likely that there will be some minor positive equalities impact as a result of the introduction of the Article 4 Direction - in particular advancing equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it.
35. Whilst officers accept that there is already proliferation of communication equipment impacting the businesses at this location, the proposed Article 4 Direction will bring control of any further proposals to install equipment at this location back to the council and require them to be subject to the full planning application process including consultation, mitigation, and equalities assessment and conditions where appropriate.

### **Climate change implications**

36. Officer consider that there are no climate change considerations as a result of this recommendation.

### **Financial implications**

37. In some circumstances the council can be liable to compensate developers or landowners whose developments are affected by Article 4 Directions. Local planning authorities are liable to pay compensation to those who would have been able to develop under the permitted development rights that an Article 4 Direction withdraws, if they:
  - refuse planning permission for development which would have been permitted

development if it were not for an Article 4 Direction; or

- grant planning permission subject to more limiting conditions than the GPDO would normally allow.
38. Compensation may also be claimed for abortive expenditure or other loss or damage directly attributable to the withdrawal of permitted development rights. 'Abortive expenditure' includes works carried out under the permitted development rights before they were removed, as well as the preparation of plans for the purposes of any work.
39. Loss or damage directly attributable to the withdrawal of permitted development rights would include the depreciation in the value of land or a building(s), when its value with the permitted development right is compared to its value without the right.
40. However, the compensation arrangements differ for cases where a development order in respect of prescribed development is being withdrawn. The definition of prescribed development can be found in regulation 2 of the Town and Country Planning (Compensation) (England) Regulations 2015 (as amended). In cases such as these, compensation is not payable if the following procedure is followed, as set out in section 108 of the Town and Country Planning Act:
- The planning permission withdrawn is of a prescribed description as set out in the Town and Country Planning (Compensation) Regulations 2015 (as amended).
  - The permitted development right is withdrawn in the prescribed manner.
  - Notice of withdrawal is given in the prescribed manner:
  - Not less than 12 months before it takes effect.
  - Not more than the prescribed period of two years.
41. Permitted development rights granted by Schedule 2, Part 16 are prescribed development, which means that compensation may be payable for 12 months from the date that the direction comes into force. If more than 12 months' notice of the withdrawal were given no compensation would be payable.

## **SUPPLEMENTARY ADVICE FROM OTHER OFFICERS**

### **Assistant Chief Executive – Governance and Assurance**

42. Planning Committee is being asked to confirm a non-immediate Article 4 Direction to withdraw the permitted development rights granted by Schedule 2, Part 16 of the Town and Country (General Permitted Development) Order 2015 for communications development and to delegate to the Director of Planning and Growth the arrangements for making the Article 4 Direction including compliance with the notification requirements under the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).

43. The council's constitution (Part 3F, 'matters reserved by the Planning Committee,' at paragraph 10) reserves to the Planning Committee any authorisation under Article 4 of the Town and Country (General Permitted Development) Order 2015. This confirms Planning Committee has the authority to take the decisions as set out in the proposed recommendations above.
44. Officers have considered the council's PSED under section 149 of the 2010 Act at paragraphs 31 to 35 of this report and have concluded that the proposals are not considered to have any adverse impacts on persons with protected characteristics, and will not undermine the three needs in the PSED.
45. In addition, the Human Rights Act 1988 imposed a duty on the council as a public authority to apply the European Convention on Human Rights; as a result the council must not act in a way which is incompatible with these rights. The most important rights for planning purposes are Article 8 (respect for homes), Article 6 (natural justice) and Article 1 of the First Protocol (peaceful enjoyment of property). It is important to note that few rights are absolute in the sense that they cannot be interfered with under any circumstances. 'Qualified' rights including Article 8 and the First Protocol can be interfered with or limited in certain circumstances. The extent of legitimate interference is subject to the principle of proportionality whereby a balance must be struck between the legitimate aims to be achieved by a local planning authority in the policy making process against the potential interference with individual human rights. In this case, it is considered proportionate to remove permitted development rights in order to protect a discrete part of the council from excessive communications apparatus.
46. Council Assembly on 14 July 2021 approved a change to the council's Constitution to confirm that all decisions made by the council will consider climate and equality (including socio-economic disadvantage and health inequality) consequences of taking the decision have been considered at paragraph 30 above.

## BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
None		

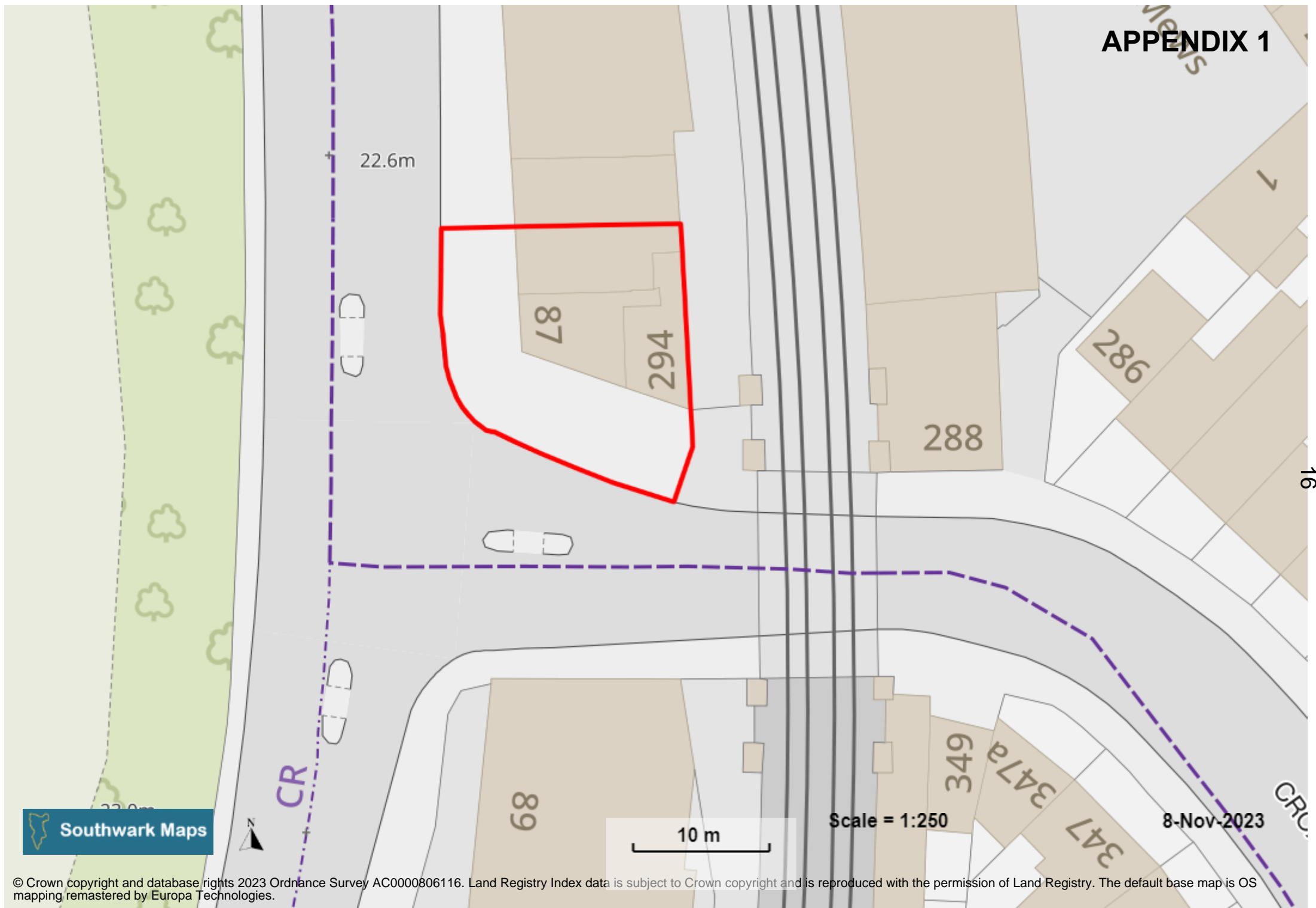
## APPENDICES


No.	Title
Appendix 1	Site map

**AUDIT TRAIL**

<b>Lead Officer</b>	Stephen Platts, Director of Planning and Growth	
<b>Report Author</b>	Matthew Lambert, Planning Officer	
<b>Dated</b>	25 September 2024	
<b>Key Decision?</b>	No	
<b>CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER</b>		
<b>Officer Title</b>	<b>Comments Sought</b>	<b>Comments Included</b>
Assistant Chief Executive – Governance and Assurance	Yes	Yes
Strategic Director, Resources	No	No
<b>Cabinet Member</b>	No	No
<b>Date final report sent to Constitutional Team</b>	25 September 2024	

# APPENDIX 1



 Southwark Maps



10 m

Scale = 1:250

8-Nov-2023

<b>Meeting Name:</b>	Planning Committee (Major Applications) A
<b>Date:</b>	8 October 2024
<b>Report title:</b>	Development Management
<b>Ward(s) or groups affected:</b>	All
<b>Classification:</b>	Open
<b>Reason for lateness (if applicable):</b>	Not applicable
<b>From:</b>	Proper Constitutional Officer

### **RECOMMENDATIONS**

1. That the determination of planning applications, or formal observations and comments, the instigation of enforcement action and the receipt of the reports included in the attached items be considered.
2. That the decisions made on the planning applications be subject to the conditions and/or made for the reasons set out in the attached reports unless otherwise stated.
3. That where reasons for decisions or conditions are not included or not as included in the reports relating to an individual item, they be clearly specified.

### **BACKGROUND INFORMATION**

4. The council's powers to consider planning business are detailed in Part 3F which describes the role and functions of the planning committees. The matters reserved to the planning committees exercising planning functions are described in part 3F of the Southwark Council constitution.

### **KEY ISSUES FOR CONSIDERATION**

5. In respect of the attached planning committee items members are asked, where appropriate:
  - a. To determine those applications in respect of site(s) within the borough, subject where applicable, to the consent of the Secretary of State for Levelling Up, Housing and Communities and any directions made by the Mayor of London.

- b. To give observations on applications in respect of which the council is not the planning authority in planning matters but which relate to site(s) within the borough, or where the site(s) is outside the borough but may affect the amenity of residents within the borough.
  - c. To receive for information any reports on the previous determination of applications, current activities on site, or other information relating to specific planning applications requested by members.
6. Each of the following items are preceded by a map showing the location of the land/property to which the report relates. Following the report, there is a draft decision notice detailing the officer's recommendation indicating approval or refusal. Where a refusal is recommended the draft decision notice will detail the reasons for such refusal.
  7. Applicants have the right to appeal to Planning Inspector against a refusal of planning permission and against any condition imposed as part of permission. Costs are incurred in presenting the council's case at appeal which maybe substantial if the matter is dealt with at a public inquiry.
  8. The sanctioning of enforcement action can also involve costs such as process serving, court costs and of legal representation.
  9. Where either party is felt to have acted unreasonably in an appeal the inspector can make an award of costs against the offending party.
  10. All legal/counsel fees and costs as well as awards of costs against the council are borne by the budget of the relevant department.

### **Community impact statement**

11. Community impact considerations are contained within each item.

### **SUPPLEMENTARY ADVICE FROM OTHER OFFICERS**

#### **Assistant Chief Executive – Governance and Assurance**

12. A resolution to grant planning permission shall mean that the director of planning and growth is authorised to grant planning permission. The resolution does not itself constitute the permission and only the formal document authorised by the committee and issued under the signature of the director of planning and growth shall constitute a planning permission. Any additional conditions required by the committee will be recorded in the minutes and the final planning permission issued will reflect the requirements of the planning committee.

13. A resolution to grant planning permission subject to legal agreement shall mean that the director of planning and growth is authorised to issue a planning permission subject to the applicant and any other necessary party entering into a written agreement in a form of words prepared by the assistant chief executive – governance and assurance, and which is satisfactory to the director of planning and growth. Developers meet the council's legal costs of such agreements. Such an agreement shall be entered into under section 106 of the Town and Country Planning Act 1990 or under another appropriate enactment as shall be determined by the assistant chief executive – governance and assurance. The planning permission will not be issued unless such an agreement is completed.
14. Section 70 of the Town and Country Planning Act 1990 as amended requires the council to have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations when dealing with applications for planning permission.
15. Section 38(6) of the Planning and Compulsory Purchase Act 2004 provides that where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise. The development plan is currently the Southwark Plan which was adopted by the council in February 2022. The Southwark Plan 2022 was adopted after the London Plan in 2021. For the purpose of decision-making, the policies of the London Plan 2021 should not be considered out of date simply because they were adopted before the Southwark Plan 2022. London Plan policies should be given weight according to the degree of consistency with the Southwark Plan 2022.
16. The National Planning Policy Framework (NPPF), as amended in July 2021, is a relevant material consideration and should be taken into account in any decision-making.
17. Section 143 of the Localism Act 2011 provides that local finance considerations (such as government grants and other financial assistance such as New Homes Bonus) and monies received through CIL (including the Mayoral CIL) are a material consideration to be taken into account in the determination of planning applications in England. However, the weight to be attached to such matters remains a matter for the decision-maker.
18. "Regulation 122 of the Community Infrastructure Levy regulations (CIL) 2010 as amended, provides that "a planning obligation may only constitute a reason for granting planning permission if the obligation is:
  - a. necessary to make the development acceptable in planning terms;
  - b. directly related to the development; and
  - c. fairly and reasonably related to the scale and kind to the development.



A planning obligation may only constitute a reason for granting planning permission if it complies with the above statutory tests."

19. The obligation must also be such as a reasonable planning authority, duly appreciating its statutory duties can properly impose i.e. it must not be so unreasonable that no reasonable authority could have imposed it. Before resolving to grant planning permission subject to a legal agreement members should therefore satisfy themselves that the subject matter of the proposed agreement will meet these tests.

## BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Council assembly agenda 23 May 2012	Constitutional Team 160 Tooley Street London SE1 2QH	Virginia Wynn-Jones 020 7525 7055
Each planning committee item has a separate planning case file	Development Management 160 Tooley Street London SE1 2QH	Planning Department 020 7525 5403

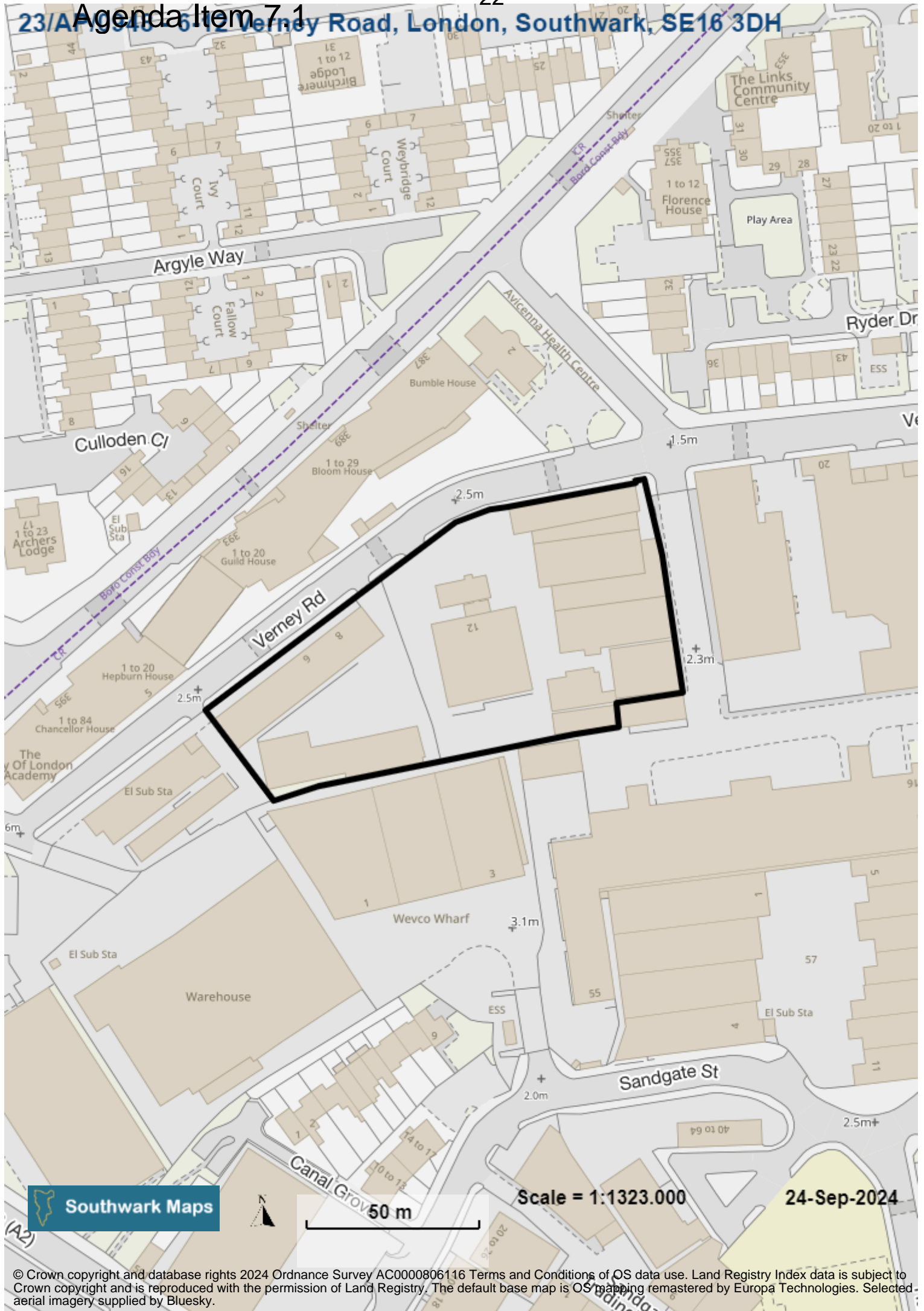
## APPENDICES

No.	Title
None	

**AUDIT TRAIL**

<b>Lead Officer</b>	Chidilim Agada, Head of Constitutional Services	
<b>Report Author</b>	Nagla Stevens, Head of Law (Planning and Development) Gerald Gohler, Constitutional Officer	
<b>Version</b>	Final	
<b>Dated</b>	20 September 2024	
<b>Key Decision?</b>	No	
<b>CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER</b>		
<b>Officer Title</b>	<b>Comments sought</b>	<b>Comments included</b>
Assistant Chief Executive – Governance and Assurance	Yes	Yes
Director of Planning and Growth	No	No
<b>Cabinet Member</b>	No	No
<b>Date final report sent to Constitutional Team</b>	20 September 2024	

# 23/Ar 046 6 12 Verney Road, London, Southwark, SE16 3DH



## Contents

EXECUTIVE SUMMARY .....	2
BACKGROUND INFORMATION.....	4
Site location and description .....	4
Details of proposal.....	8
KEY ISSUES FOR CONSIDERATION .....	20
Summary of main issues .....	20
Legal context.....	20
Environmental impact assessment.....	20
ASSESSMENT .....	21
Principle of the proposed development in terms of land use .....	21
Affordable workspace (AWS) .....	26
Impact of proposed development on amenity of adjoining occupiers and surrounding area.....	47
Noise and vibration.....	58
Energy and sustainability .....	66
Planning obligations (S.106 agreement) .....	70
Mayoral and borough community infrastructure levy (CIL) .....	73
Other matters .....	73
Community involvement and engagement .....	73
Consultation responses from members of the public and local groups .....	74
Community impact and equalities assessment .....	77
Human rights implications .....	78
Positive and proactive statement.....	78
Positive and proactive engagement: summary table .....	78
CONCLUSION ON PLANNING ISSUES.....	79
BACKGROUND DOCUMENTS .....	79
APPENDICES.....	80
AUDIT TRAIL.....	80

<b>Meeting Name:</b>	Planning Committee (Major Applications) A		
<b>Date:</b>	8 October 2024		
<b>Report title:</b>	<b>Development Management planning application:</b> Application 23/AP/0948 for: Full Planning Application  <b>Address:</b> 6-12 VERNEY ROAD, LONDON, SOUTHWARK SE16 3DH  <b>Proposal:</b> Demolition of existing buildings and structures on the site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) plus part ground floor flexible Ea and/or Eb together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works (as revised on 29.02.2024 and 29.04.2024).		
<b>Ward(s) or groups affected:</b>	Old Kent Road		
<b>Classification:</b>	Open		
<b>Reason for lateness (if applicable):</b>	Not Applicable		
<b>From:</b>	Director of Planning and Growth		
<b>Application Start Date:</b>	09.05.2023	<b>PPA Expiry Date:</b>	30.06.2024
<b>Earliest Decision Date:</b>	30.06.2024		

## RECOMMENDATIONS

1. That planning permission be granted subject to conditions, the applicant entering into an appropriate legal agreement, and referral to the Mayor of London.
2. In the event that the requirements of paragraph 1 above are not met by 7 April 2025, the director of planning and growth be authorised to refuse planning permission, if appropriate, for the reasons set out in paragraph 216.

## EXECUTIVE SUMMARY

3. Commercial GIA:

Site Area	Proposed GEA	Proposed GIA	Proposed NIA
1.82 acres/0.74ha	25,947.6 sqm	22,881.8 sqm	18,968 sqm

LEVEL	B2/B8		B2/B8/E(a)/E(b)/E(g)		B2/B8/E(g)	
	Industrial & Logistics		Flexible		Light Industrial	
	GIA	GEA	GIA	GEA	GIA	GEA
Ground floor	3688.1 sqm	3841 sqm	485 sqm	531 sqm	None	None
Mezzanine	603.9 sqm	769.2 sqm	None	None	640.1 sqm	701.2 sqm
First Floor	6054.8 sqm	6233.6 sqm	None	None	None	None
Mezzanine	304 sqm	460.2 sqm	None	None	640 sqm	701 sqm
Second Floor	None	None	None	None	5191.5 sqm	5363.3 sqm
Third Floor	None	None	None	None	5173.7 sqm	5348.2 sqm
Roof Level	None	None	None	None	100.8 sqm	137.4 sqm
TOTAL	10650.8 sqm	11304 sqm	485 sqm	531 sqm	11746.1 sqm	12251.1 sqm

Environmental:

CO2 savings beyond part L Building Regs	64%
Trees Lost	0
Trees Gained	51

	Existing	Proposed	Change +/-
Urban Greening Factor		0.302	+0.302
Surface water runoff rates (6 hour in 100 years)	329l/s 460.61l/s (climate change)	7.3l/s 9.37l/s (climate change)	-321.7l/s -451.24l/s
Green/Blue roofs	0 green/0 blue	1945sqm (blue)/1549sqm (green)	+1945sqm (blue)/+1549sqm (green)
Car parking	20	4	-16
Blue Badge	0	1	+1
Cycle parking spaces	0	142 long stay/26 short stay	+168

CIL and S106

CIL (estimated)	£NIL
MCIL (estimated)	£1,391,199.92.
S106	<ul style="list-style-type: none"> <li>• Carbon offset: £84,918.00</li> <li>• Trees - £16,000.00</li> <li>• Highways contribution- £200,000.00</li> <li>• Legible signage - £22,000.00</li> <li>• AWS – 10% PIL; figure to be agreed</li> </ul>

## BACKGROUND INFORMATION

### Site location and description

4. The subject site measures 1.82 acres/0.74 hectares and is located on the southern side of Verney Road. It comprises two plots containing a mix of low-rise, predominantly brick and metal warehouses. Opposite the Site to its north, on Verney Road is the 6 and 19 storeys 'Bermondsey Works' scheme at 399 Rotherhithe New Road which contains the John Keats Primary Free School and the City of London VI form college at its western end. Silverlock Medical Centre is located adjacent to the primary school fronting Verney Way.
5. To the west, the Site is bounded by an electricity substation and the large warehouse buildings of 4 Verney Road. The Site is bounded along its eastern edge by a high boundary wall, and an access road to the industrial units to the east and south. A 13m wide access road separates the Site and 20-26 Verney Road.
6. To the south, the Site is bounded by the low rise industrial/commercial buildings of 14-16 Verney Road accessible from Verney Road, and 1-3 Wevco Wharf accessible from Sandgate Street. The surrounding area comprises a mixture of buildings used for industrial, commercial, residential and educational purposes.
7. The site is part of the wider allocation NSP68: Sandgate Street and Verney Road within the Southwark Local Plan, 2022. It lies within the Old Kent Road Opportunity Area as identified within the London Plan and forms part of the Bakerloo Line Extension Growth Corridor. As part of the draft Old Kent Road Area Action Plan, the site is allocated within Old Kent Road (OKR) 13 outlined as Sandgate Street, Verney Road and Old Kent Road (South). The Vision of which is to see the area being transformed into a mixed new neighbourhood with a diverse range of uses.
8. The Site is not located within or close to a conservation area. In terms of listed buildings, the Site does not contain any statutory or locally listed buildings. The Grade II listed Canal Grove Cottages are located approximately 75m to the south. In terms of Borough Views, the site intercepts two strategic views; Parliament Hill summit to St Paul's Cathedral, and Kenwood viewing gazebo to St Paul's Cathedral.
9. The site is within an Urban Density Zone and an Air Quality Management Area. The site is located in Flood Zone 3 as identified by the Environment Agency. Additionally, the site is designated as being within North Southwark and Roman Roads Archaeological Priority Area.
10. Transport for London's (TfL) Public Transport Accessibility Level (PTAL) provides a score of 1-6b to rate areas within London and their accessibility to public transport options. A score of 1 represents the lowest accessibility with 6b being the best locations of accessibility to public transport. The subject site is

rated as 3 on the PTAL system indicating medium accessibility to public transport.

11. The development of the Bakerloo Line Extension (BLE) project is ongoing, with funding from TfL, the council and London Borough of Lewisham to further develop the detailed design of the scheme. In addition safeguarding still remains for the BLE's future provision.

**Image: Site location in immediate context**





Image – Land Use and Site Character



Map diagram showing the various land uses in and around the site

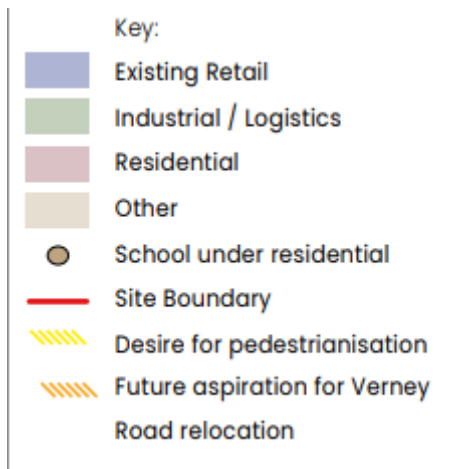
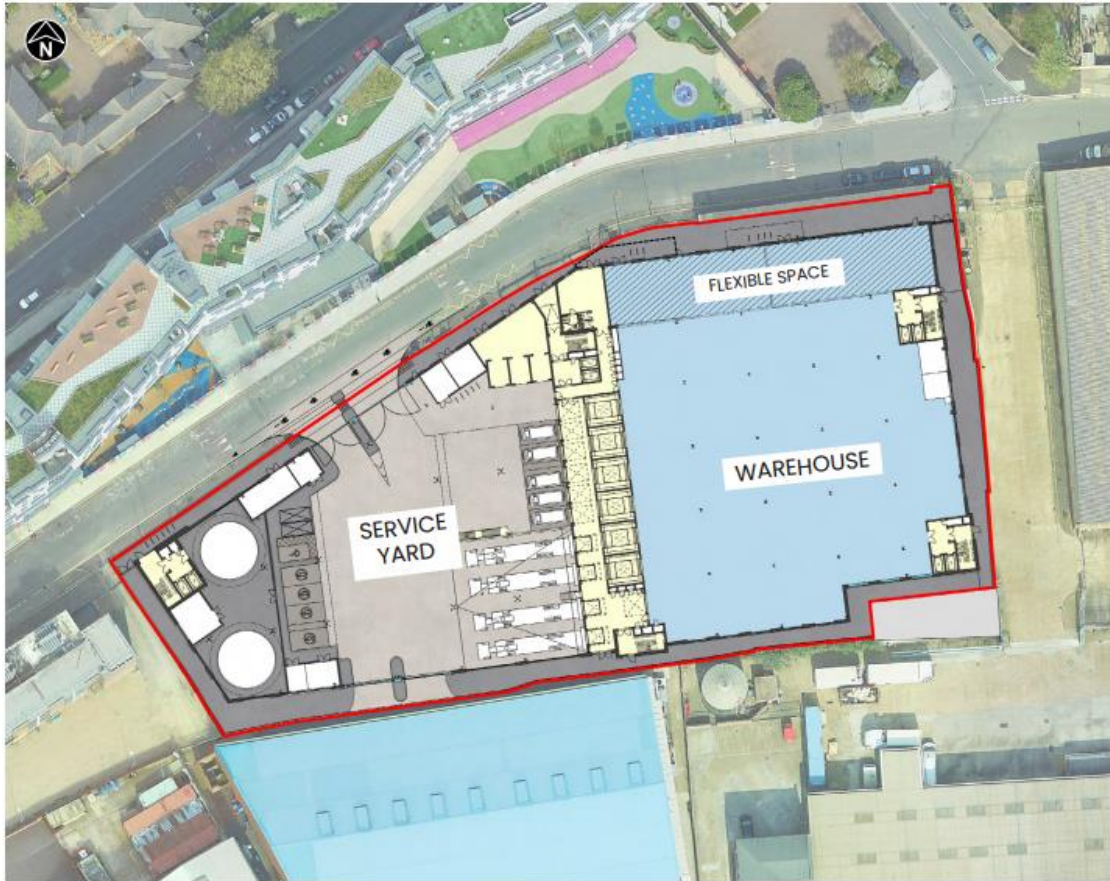
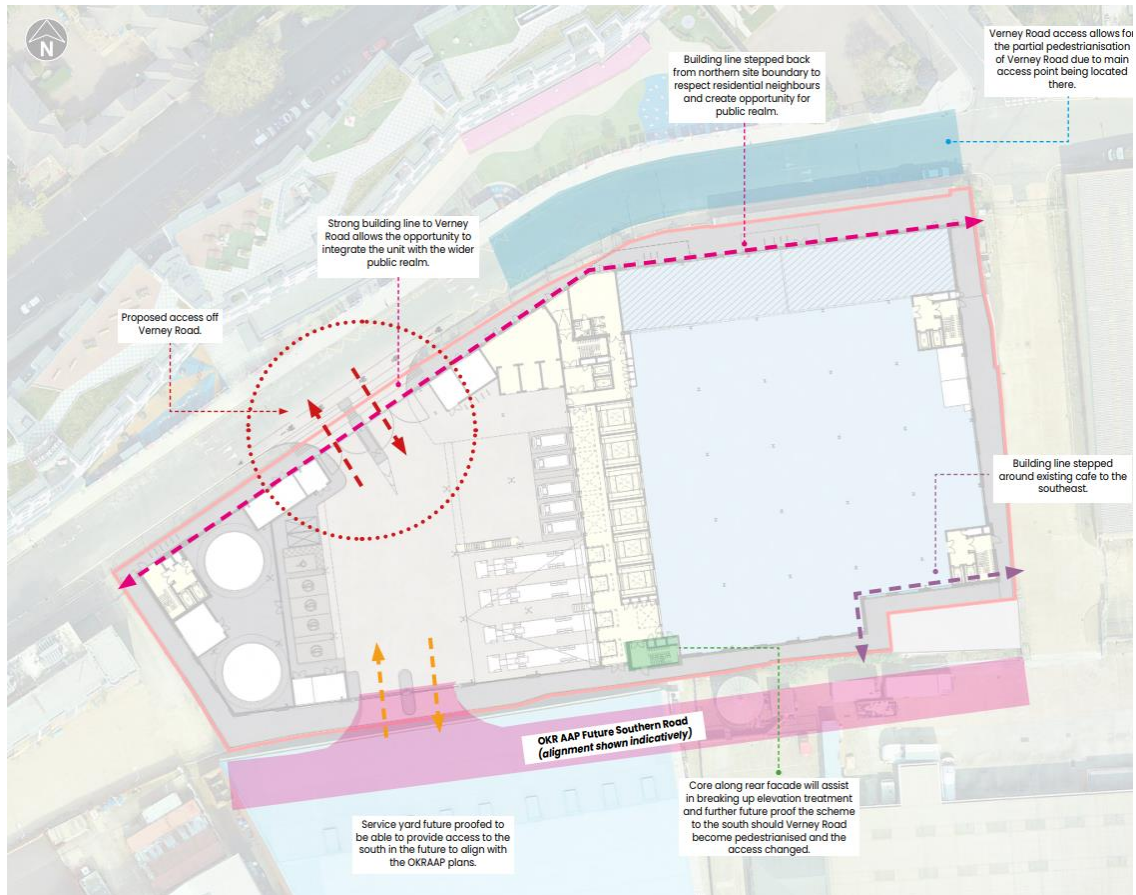


Image: Proposed Site Plan



Proposed Site Plan  
2024 Amended Scheme

## Proposed site access principles



## Details of proposal

12. Planning permission is sought for the demolition of existing buildings and structures on the site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) plus part ground floor flexible E(a) and/or E(b) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works.
13. The subject scheme has been amended primarily because vehicular access has been changed from being taken off Verney Way (eastern side of the application site) to Verney Road (northern side of the application site). The 2023 original submission consisted of plans for a last-mile multi-level logistics development with a total GIA of approx. 20,864 sqm, with vehicular access into the covered service yard taken from the east off Verney Way. The 2024 amended scheme now consists of plans for a last-mile multi-level logistics development with a total GIA of approx. 22,881 sqm, with vehicular access into the covered service yard taken instead from the north, off Verney Road.



Proposed Site Plan  
2023 Original Submission

The building would provide 22,881 sqm (GIA) of flexible Use Classes B2/B8/E(g), E(a), E(b) accommodation as set out in the below table.

Commercial GIA:

Site Area	Proposed GEA	Proposed GIA	Proposed NIA
1.82 acres/0.74ha	25,947.6 sqm	22,881.8 sqm	18,968 sqm

LEVEL	B2/B8		B2/B8/E(a)/E(b)/E(g)		B2/B8/E(g)	
	Industrial & Logistics	Flexible	Light Industrial			
	GIA	GEA	GIA	GEA	GIA	GEA
Ground floor	3688.1 sqm	3841 sqm	485 sqm	531 sqm	None	None
Mezzanine	603.9 sqm	769.2 sqm	None	None	640.1 sqm	701.2 sqm
First Floor	6054.8 sqm	6233.6 sqm	None	None	None	None
Mezzanine	304 sqm	460.2 sqm	None	None	640 sqm	701 sqm
Second Floor	None	None	None	None	5191.5 sqm	5363.3 sqm
Third Floor	None	None	None	None	5173.7 sqm	5348.2 sqm
Roof Level	None	None	None	None	100.8 sqm	137.4 sqm
<b>TOTAL</b>	<b>10650.8 sqm</b>	<b>11304 sqm</b>	<b>485 sqm</b>	<b>531 sqm</b>	<b>11746.1 sqm</b>	<b>12251.1 sqm</b>

14. The scheme also provides 4no. van parking spaces with electric vehicle charging and a single DDA compliant accessible parking space. The scheme proposed 4no. dock leveller loading doors and 5no. level loading bays. An additional level loading bay is proposed for cycle access. In terms of cycle parking, 13no. Sheffield hoops (26 spaces) are proposed for short stay visitor parking. 142no. covered spaces (comprised of Sheffield hoops, cycle lockers and Sheffield hoops) are provided for long stay cycle parking. Provision is also made for cargo bike access, including cargo bike lifts.

**Image – Proposed ground floor layout**

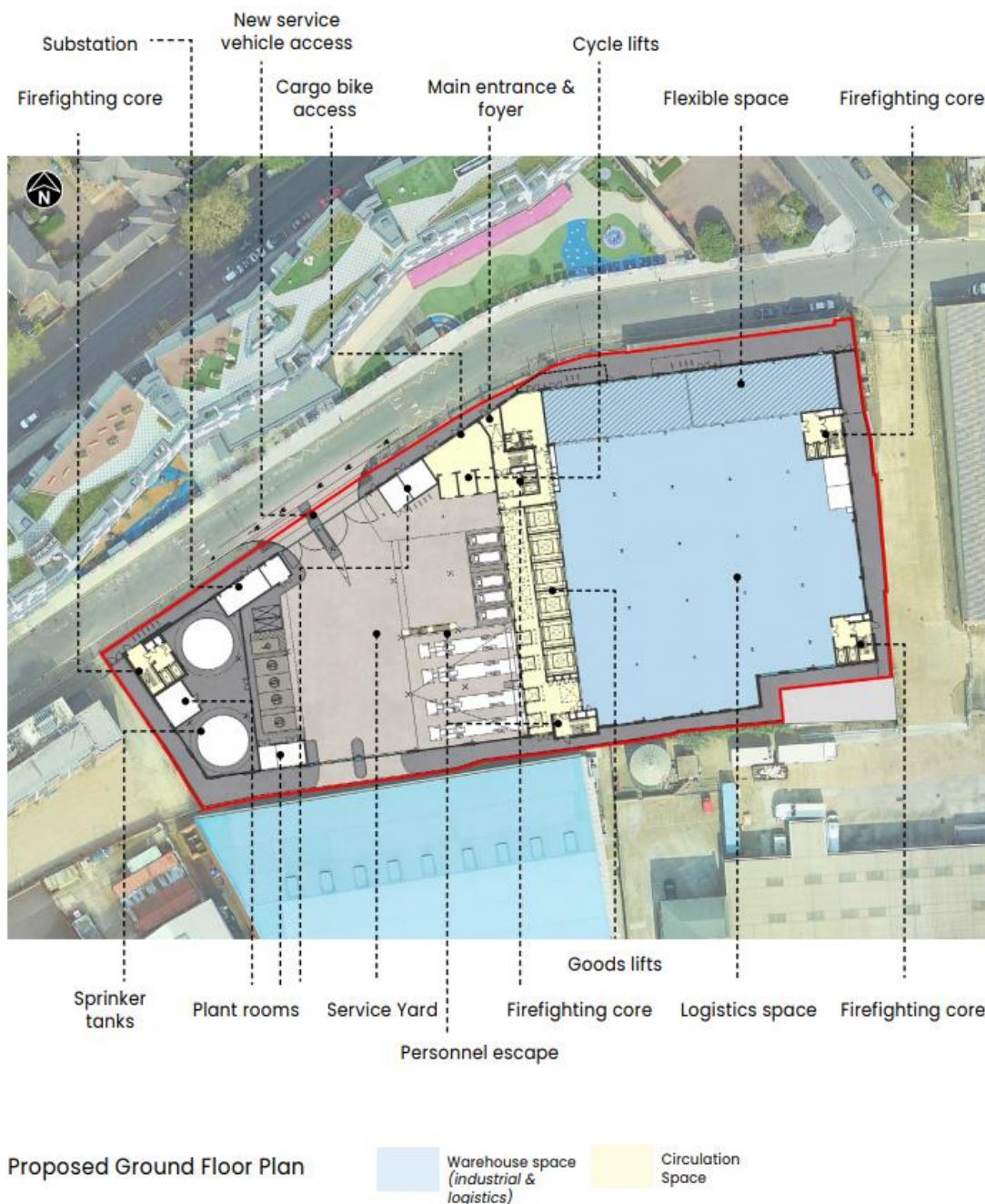
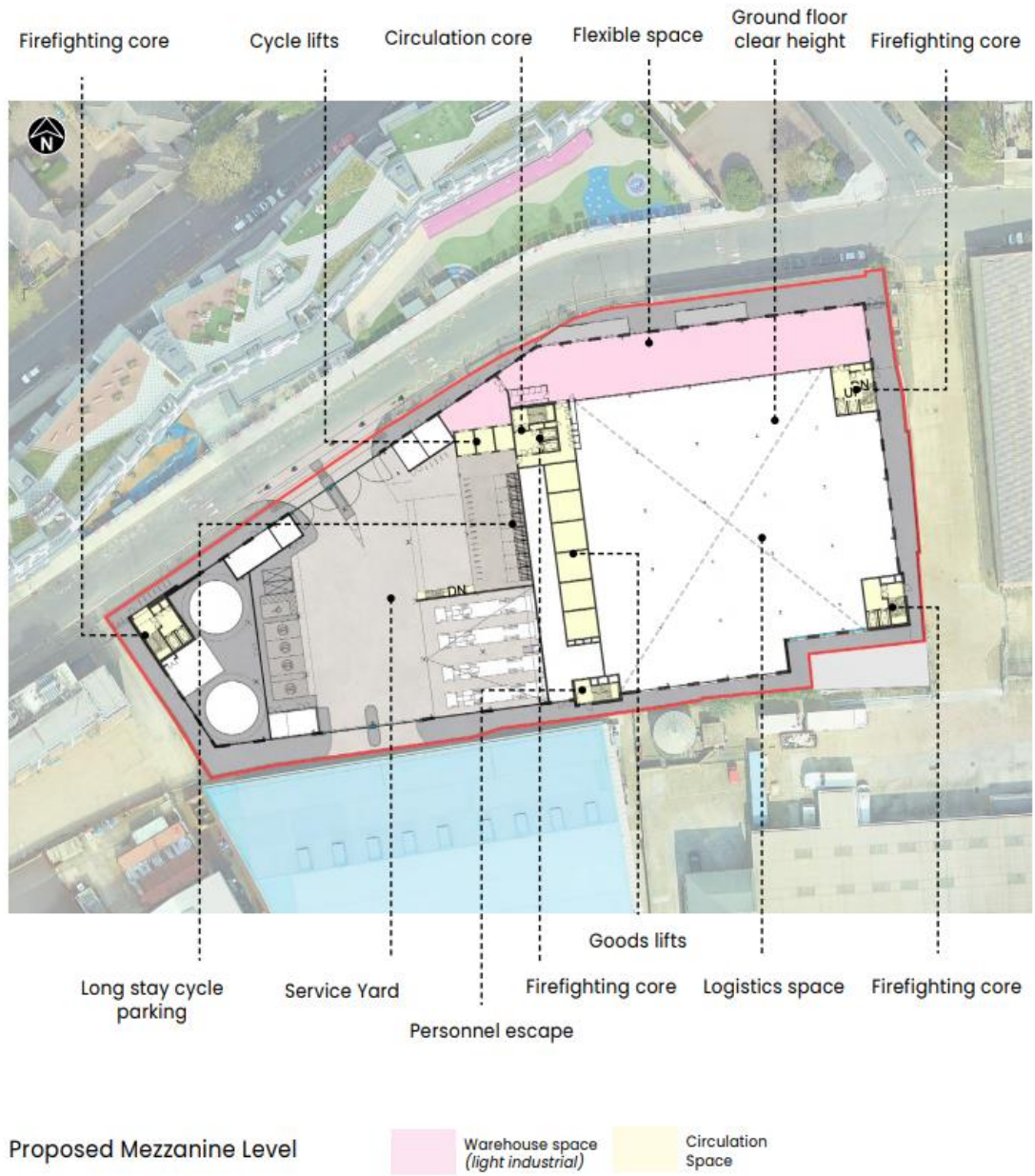
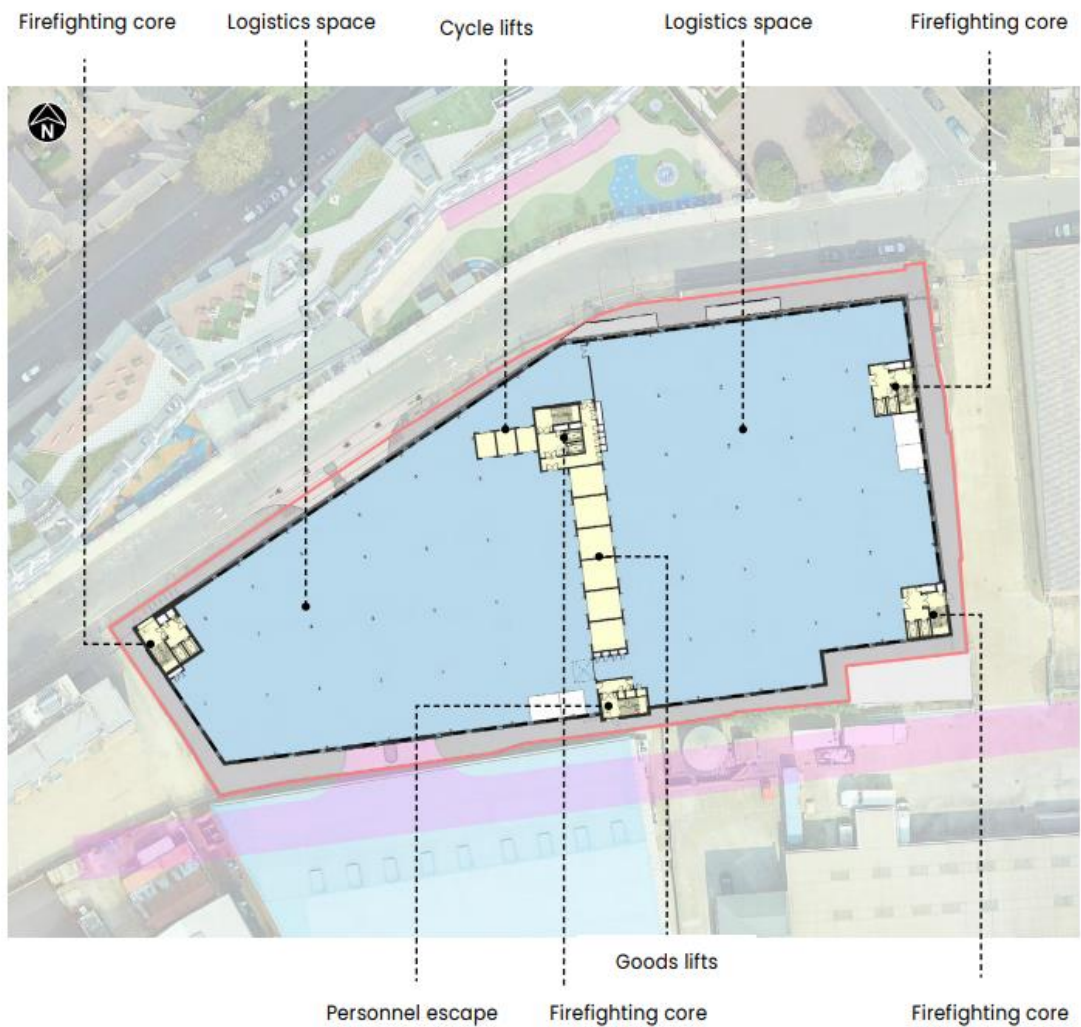


Image – Proposed Mezzanine Level plan



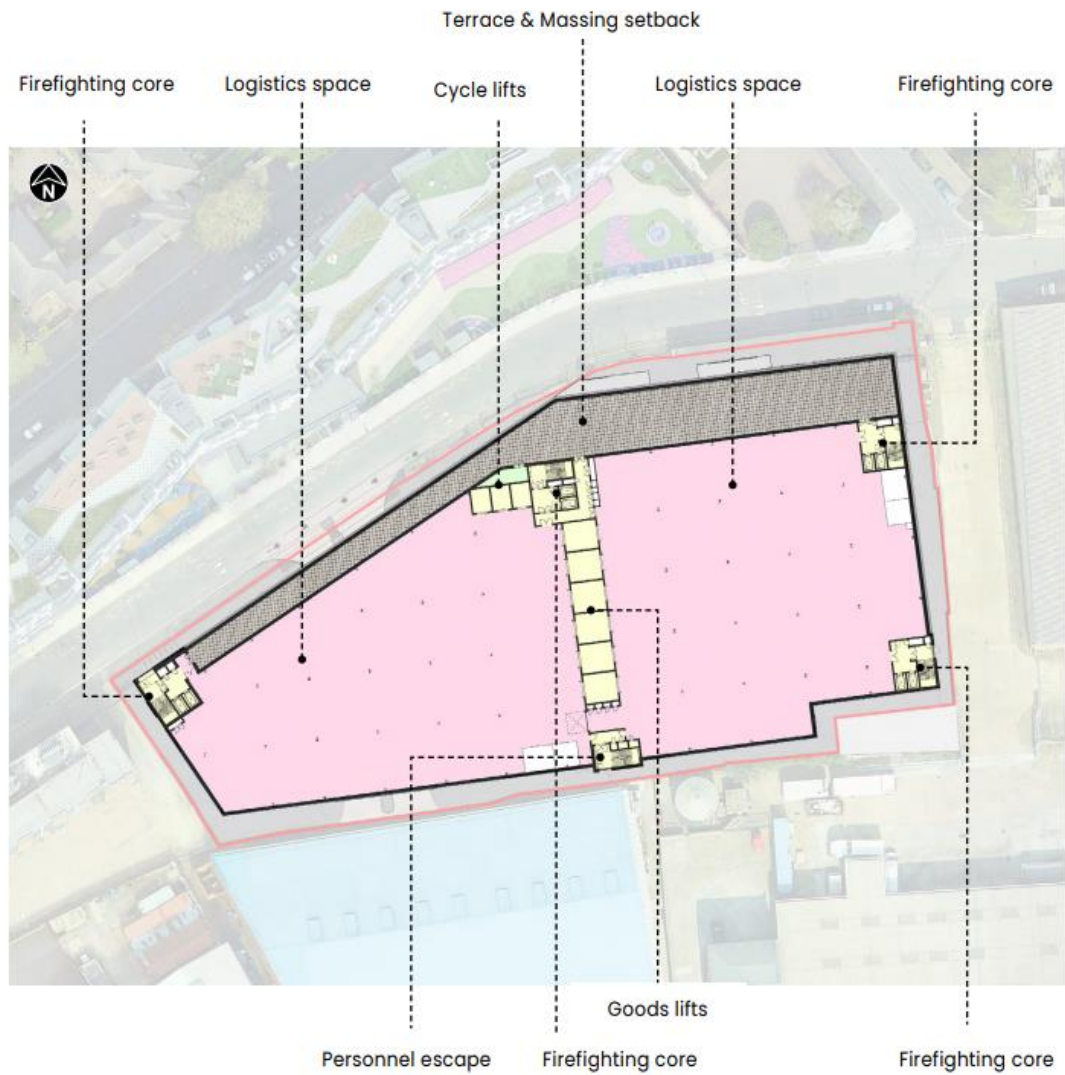
### Image – Proposed First floor plan



Proposed First Floor Plan



**Image – Proposed Second floor plan**



Proposed Second Floor Plan

	Warehouse space <i>(light industrial)</i>		Circulation Space
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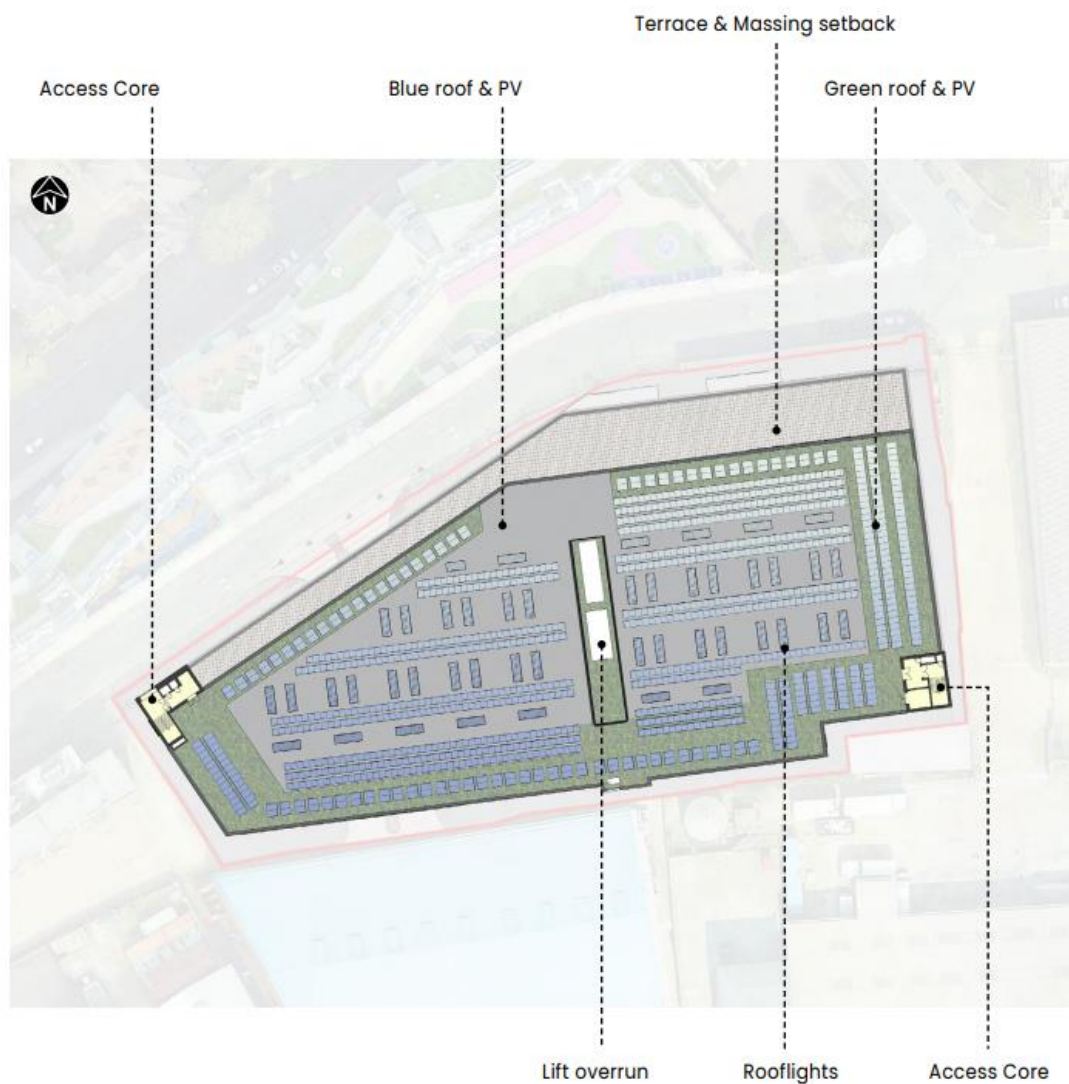
Image – Proposed Third floor plan



Proposed Third Floor Plan

- Warehouse space (light industrial)
- Circulation Space

## Image – Proposed Roof Level Plan



Proposed Roof Level Plan

Circulation Space

## Amendments to the application

15. The initial scheme submitted in April 2023 and validated on 09.05.2023 was for a similar development description:

*Demolition of existing buildings and structures on the site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use class B2, B8 and Class E(g)) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works.*

16. Following submission of the application in April 2023 and ongoing negotiations with the Council, the applicant advised that it is not possible to deliver the previously proposed access/egress from Verney Way as part of the current planning application. As such, the revised scheme proposes accesses and egress from Verney Road, similar to the existing employment site. Consequently, the proposed ground floor plan footprint has been amended, with the service yard remaining enclosed and relocated within the building footprint from the east to the west of the Site. The height and scale of the proposed building remains unchanged from the original application submission.
17. In summary the amended proposals would result in the following:
- Overall increase in GIA/GEA from 20,865/22,063sqm to 22,882sqm/24,086sqm respectively. The increase in floor space is due to the rationalised layout and a minor increase of the building line of the western elevation facing Verney Way by 1 metre.
  - The Ground Floor layout has been amended with the enclosed service yard relocated to the west of the Site.
  - Introduction of Flexible Class E(a) (Retail) and Class E(b) (Food and Drink) to the ground floor, northeast corner fronting Verney Way & Verney Road (alongside the originally proposed flexible Class Eg/B2 and B8).
  - Vehicular access to the Site has been relocated from the east on Verney Way, to the north off Verney Road. The access would consolidate the existing accesses into one point, for both ingress and egress. The crossing along the Site access would have a refuge island allowing safer crossing for pedestrians.
  - Enhancements to the materiality and fabric of the proposed elevations including enhanced reveals and finishes.
  - The amended scheme would provide a total of 26 short stay spaces and 142 long stay spaces.
  - A minor staff and operational trip generation increase because of the minor increase in GEA.
  - The updated access arrangements would result in a change in the assignment of vehicle trips on the highway network which remain minimal in terms of percentage uplift of local junctions, in both AM and PM peak hours.
  - The updated amendments would safeguard the ability to deliver the future aspirations of the Old Kent Road Area Action Plan; including potential future vehicle access to the south of the site and the part closure of Verney Road outside the entrance to the John Keats primary school and its conversion to a park space (to be secured as a s106 obligation).
18. The amended scheme was submitted to the Council in February 2024 and a re-consultation process was subsequently carried out by the Council.

### **Relevant planning history**

19. January 2023 Request submitted for an EIA Screening Opinion for demolition of existing buildings and structures on the Site and redevelopment to provide an up to four storeys building to accommodate industrial and logistics (Use

Class B2, B8 and Class E(g)) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works. Decision issued in February 2023 that the development is not considered to be EIA development and that an Environmental statement would not be required to support the planning application. LPA Reference 23/AP/0071.

20. Planning permission subject to s106 agreement granted in February 2022 for redevelopment of the site for a mixed use development comprising three buildings (Building 1: basement, ground, ground mezzanine plus 17 storeys (AOD 66.975m); Building 2: basement, ground, ground mezzanine plus 22 storeys (AOD 81.975m); Building 3: basement, ground, ground mezzanine plus 16 storeys (AOD 62.675m) to accommodate 338 residential unit, 5,234 Sqm GEA of commercial floor space (Class B1(c)), associated cycle and car parking, servicing, refuse and recycling, landscaping including contribution towards the new Surrey Canal linear park, and private and communal residential amenity space and children's playspace. (This application represents a departure from strategic policy 10 'Jobs and businesses' of the Core Strategy (2011) and saved policy 1.2 'strategic and local preferred industrial locations' of the Southwark Plan (2007) by virtue of proposing to introduce residential accommodation in a preferred industrial location). LPA Reference 17/AP/4508. No applications submitted as yet to discharge any of the pre-commencement/precedent conditions.
21. September 2017 request submitted for an EIA Screening Opinion in respect of the proposed development at 6-12 Verney Road. The proposals are for the construction of three buildings (of up to 16, 17 and 22 storeys, plus basement level beneath two of the buildings). The development would provide a total of 334 residential units, with circa 3,898 sqm of office space, 1,241 sqm of community use and 422 sqm of retail space. The development would also include hard and soft landscaping works, car parking and cycle parking in the basement. Decision issued in October 2017 that the development is not considered to be EIA development and that an Environmental statement would not be required to support the planning application. LPA Reference 17/AP/3760.

### **Relevant planning history of adjoining sites this goes in the appendices**

22. The most recent and relevant history on adjoining and nearby sites and within the allocated site NSP68 are at 399 Rotherhithe New Road; Ruby Triangle site bounded by Old Kent Road, Ruby Street and Sandgate Street; Varcoe Service station, 1 Varcoe Road; Land Bounded By Ruby Street Murdock Street And 685-695 Old Kent Road. The applicant for the subject application also submitted an application for a last mile logistics development proposal at 25 Mandela Way which has been approved and currently under construction which is also seen as being relevant in the formal consideration of the subject application.
23. 13/AP/0065  
399 ROTHERHITHE NEW ROAD, LONDON, SE16 3HG: Demolition of existing building and the erection of a part 6, part 19 storey building (maximum height

from ground 61.3m) with basement for a mixed-use scheme comprising of 158 residential dwellings, primary school for Southwark Free School, sixth form and community centre for City of London Academy, with associated amenity and play space, basement car and cycle parking and landscaping. Granted subject to s106/278 agreements: 18 June 2017. Permission implemented.

24. 18/AP/0897  
RUBY TRIANGLE SITE LAND BOUNDED BY OLD KENT ROAD, RUBY STREET AND SANDGATE STREET LONDON SE15 1LG: Demolition of existing buildings and structures on the site, and redevelopment consisting of three buildings at maximum heights of 17 storeys (including mezzanine) (+64.735m AOD), 48 Storeys (+170.830m AOD) and 40 storeys (including mezzanine) (+144.750m AOD), plus single storey basement under part of the site. Development would provide 1,152 residential dwellings (Class C3), retail, business and community spaces (Classes A1, A2, A3, A4, B1(a),(b),(c) and D1), public sports hall and gym (Class D2), public and private open space, formation of new accesses and alterations to existing accesses, energy centre, associated car and cycle parking and other associated works. Granted subject to s106 agreement on 6 June 2019.
25. 16/AP/5235  
VARCOE SERVICE STATION, 1 VARCOE ROAD, LONDON, SE16 3DG: Demolition of existing building and development comprising a part six, part 7 and part eight storey building to accommodate 57 new affordable residential units (Use Class C3) and provision of flexible employment / retail space on ground floor (Use Class B1, A1-A3). Granted subject to s106 agreement on 28 September 2017. Implemented.
26. 18/AP/0196  
LAND BOUNDED BY RUBY STREET, MURDOCK STREET AND 685-695 OLD KENT ROAD LONDON SE15 1JS: Demolition of existing buildings and erection of and construction of a part 3, part 7, part 22 storey building (76.6m) from ground level with roof top level amenity space, comprising 111 dwellings, 1,151 sqm (GIA) of D1 floorspace for a church with ancillary communal facilities, 2,173 sqm (GIA) of workspace (B1a and B1c Use Class) and 87 sqm (GIA) of A1/A2/B1 floorspace, with associated landscaping, car and cycle parking, servicing and refuse and recycling facilities. Granted subject to s106 agreement on 22 December 2020. Under construction.
27. 18/AP/2895  
2 VARCOE ROAD, LONDON SE16 3DG: Demolition of existing buildings and erection of a new mixed-use development comprising a part 7, part 9 storey (maximum height above ground of 29.99m) building of 288sqm commercial floor space (Use Class B1) and 74 residential dwellings (Use Class C3) with associated bin stores, cycle stores, plant rooms and hard and soft landscaping. Granted subject to s106 agreement on 11 March 2020. Anticipated completion Q4 2024.
28. 19/AP/1710  
CARPETRIGHT, 651-657 OLD KENT ROAD, LONDON SE15 1JU: Demolition of existing buildings on the site and the comprehensive mixed-use redevelopment of the site comprising of two buildings of 10-storeys plus

mezzanine (up to 38.900m AOD) and 19-storeys plus mezzanine (up to 71.500m AOD), comprising 262 residential units (Use Class C3 use), 2,320sqm GEA of flexible retail and commercial floorspace (Class A1/A2/A3/A4/B1 uses) at ground and mezzanine level, new public park, private and communal amenity space, associated car and cycle parking, access and servicing arrangements, plant and other associated works. Granted subject to s106 agreement on 4 November 2021. Under construction.

29. 23/AP/0950  
25 MANDELA WAY, LONDON SE1 5SS: Demolition of existing buildings and structures on the site and redevelopment to provide an up to four storeys building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works. Granted subject to s106 agreement on 8 February 2024. Under Construction.

### **Pre-application engagement**

30. The Applicant undertook a pre-application consultation process (LPA Reference 22/EQ/0229) with officers with a number of Pre-Application Meetings being held in 2022 and 2023. LBS Officers generally supported the principle of the redevelopment of the site for logistics purposes subject to alterations to scale, massing and external material finishes. It was felt that the scheme is broadly compliant with the aims and objectives of the draft OKR AAP. The predominantly industrial use scheme that includes some mezzanine office space and a potential café would provide uplift on existing floor space.
31. There was also a pre-application presentation of the initial scheme to the Old Kent Road Community Review Panel (OKRCRP) on 30 January 2023.

“The OKRCRP meeting discussed the applicant’s schemes for two sites (25 Mandela Way; pp granted in February 2024 under LPA Ref 23/AP/0950 and is currently being constructed; and the application site). The CRP universally supported both schemes and had no concerns regarding the proposed use for the sites, providing they are operationally well managed in terms of vehicular movement, sustainable transport vehicles are used at both sites, and the facility is managed ethically in terms of employment. The panel liked the transparency and materiality of the buildings, particularly where views of the activities within are afforded from street level. However, it would like to see more active uses incorporated on the Dunton Road frontage of the 25 Mandela Way scheme to increase footfall and movement as this sits directly opposite the site allocated for a new Bakerloo Line Station. The panel also feels the design of the upper floors of the Verney Road scheme is too dominant, and suggests reducing the emphasis on a warehouse aesthetic to break down their scale, perhaps considering more Victorian brick railway architecture as a precedent. The panel also suggests that both buildings could be designed to be more architecturally distinctive and to play a greater role as local landmarks. The panel welcomes the team’s focus on enabling local employment at both sites. The panel feels it is important that the affordable workspace provision is carefully designed for use by the community and local businesses.”

## KEY ISSUES FOR CONSIDERATION

### Summary of main issues

32. The main issues to be considered in respect of this application are:
- Environmental impact assessment
  - Principle of the proposed development in terms of land use
  - Affordable workspace
  - Design, including layout, building heights, public realm, landscaping and trees
  - Heritage considerations
  - Archaeology
  - Impact of proposed development on amenity of adjoining occupiers and surrounding area, including privacy, daylight and sunlight, noise
  - Transport and highways, including servicing, car parking and cycle parking
  - Environmental matters, including flooding and air quality
  - Energy and sustainability, including carbon emission reduction
  - Ecology and biodiversity
  - Planning obligations (S.106 undertaking or agreement)
  - Mayoral and borough community infrastructure levy (CIL)
  - Consultation responses and community engagement
  - Community impact, equalities assessment and human rights

These matters are discussed in detail in the 'Assessment' section of this report.

### Legal context

33. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the London Plan 2021, the Southwark Plan 2022 and the Draft OKR AAP. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires decision-makers determining planning applications for development within Conservation Areas to pay special attention to the desirability of preserving or enhancing the character or appearance of that area. Section 66 of the Act also requires the Authority to pay special regard to the desirability of preserving listed buildings and their setting or any features of special architectural or historic interest which they possess.
34. There are also specific statutory duties in respect of the Public Sector Equalities Duty which are highlighted in the relevant sections below and in the overall assessment at the end of the report.

### Environmental impact assessment

35. Environmental Impact Assessment is a process reserved for the types of development that by virtue of their scale or nature have the potential to generate significant environmental effects.

36. The Town and Country Planning (Environmental Impact Assessment) Regulations 2017 set out the circumstances in which development must be underpinned by an EIA. Schedule 1 of the Regulations sets out a range of development, predominantly involving industrial operations, for which an EIA is mandatory. Schedule 2 lists a range of development types for which an EIA might be required due to the potential for significant environmental impacts to arise. Schedule 3 sets out that the significance of any impact should include consideration of the characteristics of the development, the environmental sensitivity of the location and the nature of the development.
37. The range of developments covered by Schedule 2 includes 'Urban development projects' where:  
the area of the development exceeds 1 hectare of urban development which is not dwelling house development; or the overall area of the development exceeds 5 hectares.
38. The application site is approximately 0.74 hectares and as such the proposal does not exceed the Schedule 2 threshold. Consideration, however, should still be given to the scale, location or nature of development, cumulative impacts and whether these or anything else are likely to give rise to environmental impacts of more than local significance.
39. The application proposes a commercial scheme that would involve the demolition of all of the existing buildings and have a building footprint that would cover some 90-95% of the site. It is noted that there would be an increase in size and height, but the development would be of a scale appropriate to its urban setting and is unlikely to give rise to any significant environmental impacts. Those impacts which are identified through the various submitted technical reports and studies can be mitigated through appropriate conditions or obligations.
40. An application for an EIA screening request was submitted in January 2023 under LPA reference 23/AP/0071. The Council determined on 27.02.2023 that the scheme would not be EIA development.

## **Assessment**

### **Principle of the proposed development in terms of land use**

41. The National Planning Policy Framework (NPPF) was updated in 2023 and is subject to consultation on a further revision at present. At the heart of the NPPF is a presumption in favour of sustainable development. The framework sets out a number of key principles, including a focus on driving and supporting sustainable economic development. Relevant paragraphs of the NPPF, and where relevant the current consultation draft are considered in detail throughout this report.
42. The NPPF also states that permission should be granted for proposals unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole.

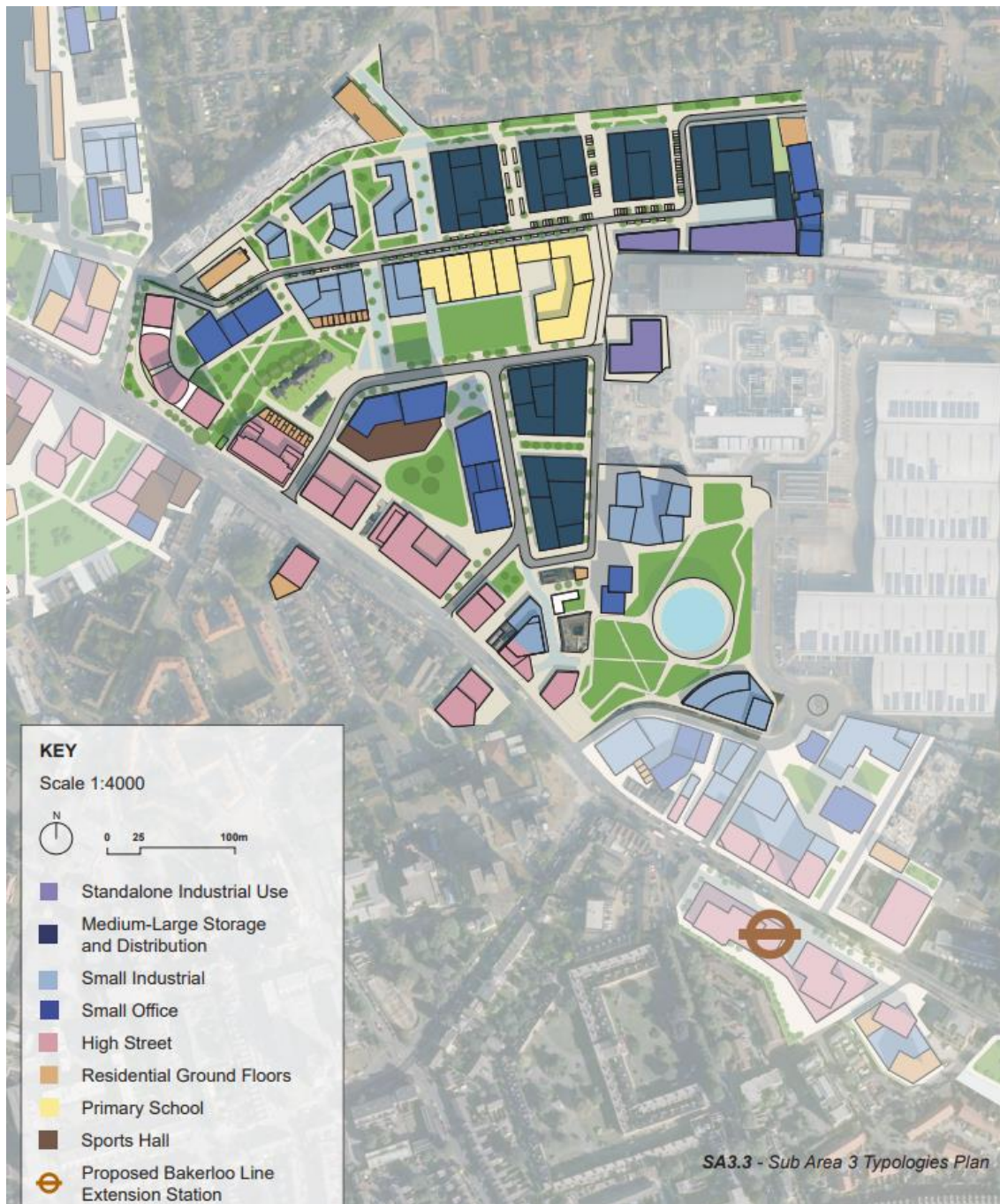


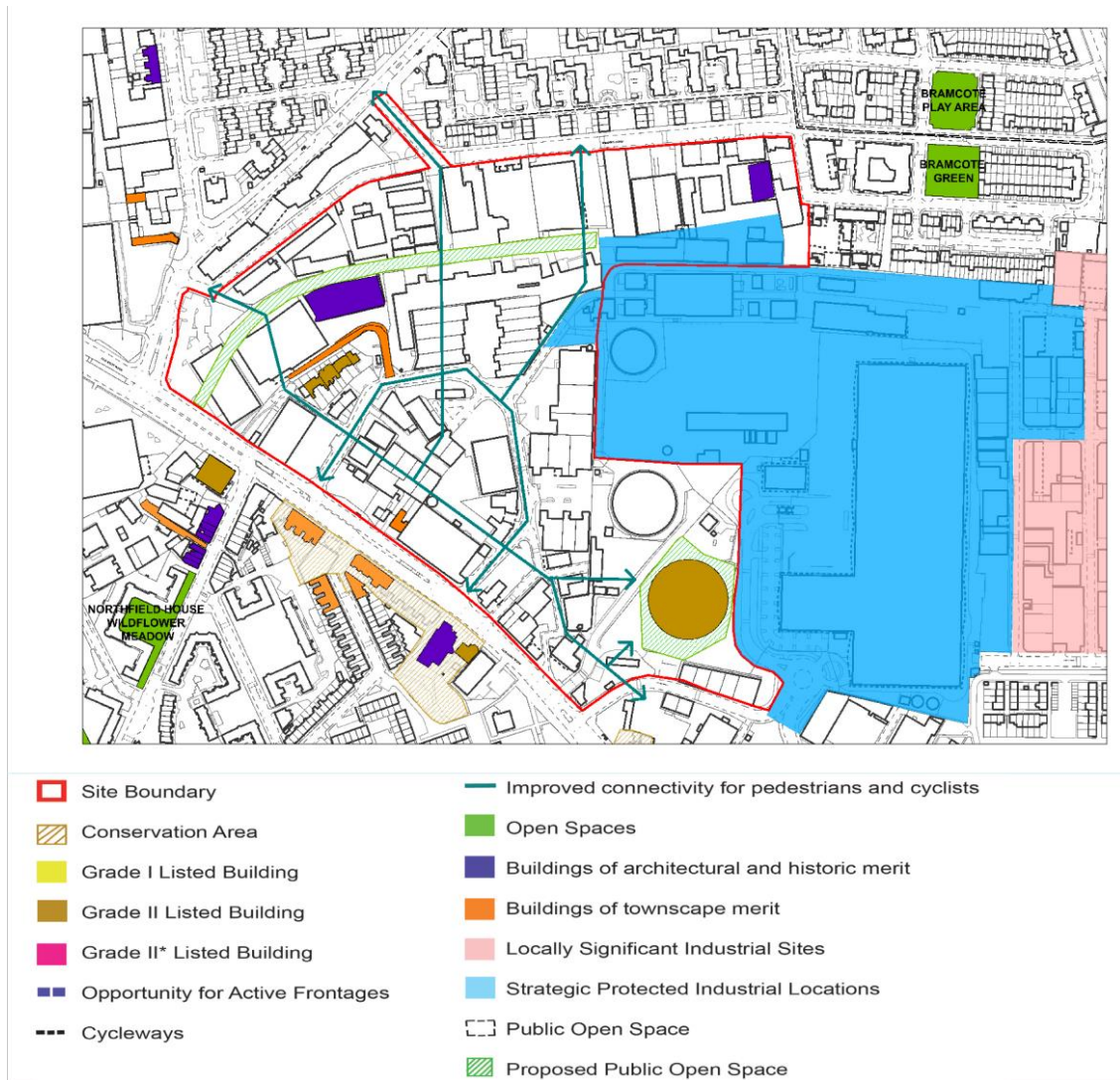
43. London Plan Policy SD1 encourages Opportunity Areas to optimise residential and non-residential output and density and contribute towards meeting (or where appropriate) exceeding the minimum guidelines for housing and/or indicative estimates for employment capacity. The OKROA is identified within the London Plan as having an indicative employment capacity of 5,000. Policy GG2 of the London Plan outlines the potential to redevelop on brownfield sites within opportunity areas.
44. The Draft OKR AAP has an indicative minimum capacity for the OKR 13 sub-area to provide 5300 new homes and 2,661 new jobs within the immediate area. The application site is part of the wider OKR13 allocated site, which also seeks to deliver 3 parks, a sports hall, a primary school and a secondary school. The vision for the wider OKR13 allocated site is that the area will be transformed into a mixed new neighbourhood with a diverse range of uses. While its character will change, it will continue to provide lots of jobs within a range of business spaces, including standalone industrial buildings, large warehouses that are integrated into mixed use buildings, small and medium sized industrial spaces and offices. New parks, a primary and secondary school, indoor sports hall, a possible health hub, access to shops and other facilities on Old Kent Road and a short walk to a tube station seeks to make the area a great place to live and work. Verney Road will be partially closed and servicing routes redirected into the site which will make way for the new Surrey Canal park. This will include a new park to the south the Bermondsey Works development and adjacent to the listed Canal Grove cottages retaining the row of mature trees. Gasholder no.13 will become a feature of a large new park and we will explore opportunities for its use as an outdoor swimming pool. In addition, developments in this allocation should replace existing employment floorspace, and provide a range of employment spaces in preferred typologies such as small industrial and office units. In terms of residential capacity, to date 1,767 homes have been built or have planning permission within this site allocation. Other sites within this allocation are likely to come forward for mixed use development. The use of this site for commercial purposes only would not undermine the delivery of the housing allocation.
45. There is an extant permission for mixed-use development (338 residential units plus 5,234 sqm GEA of commercial floor space) on the site (under LPA reference 17/AP/4508 dated 10/02/2022). The approved scheme includes three buildings of varying heights (AOD 62.675m; AOD 66.975m and AOD 81.975m). No applications to discharge the relevant pre-commencement conditions have been submitted. The permission expires in February 2025 subject to there being no submission and approval of any of the conditions precedent and discharge of the pre-commencement conditions and subsequent implementation within that time scale.
46. The 338 residential units would be included within the Phase 1 target of the BLE. The applicant has made clear that it is committed to bringing the site forward as a purely commercial development providing an increase of some 20,000 sqm above the approved scheme. Additionally, there are sufficient permissions in the pipeline for residential development within the wider OKR area and specifically this sub-area No.3 Sandgate Street/Verney Road with the increased densification through the use and provision of taller buildings with the

concomitant high-quality architecture promoted by the SP and the OKR AAP.

47. The existing use on site is not considered to maximise the potential of this Opportunity Area Proposal Site. The proposed re-development of the site would introduce a commercial building comprising floor space of flexible 22,881sqm Use Classes B2/B8/E(g), Ea and Eb accommodation. It is anticipated that the scheme would deliver major regeneration benefits that are further discussed in the proceeding parts of this report.

### Sub-Area 3, OKR13 OKR AAP, Building typologies and land uses





## Industrial land

48. The site is a Locally Significant Industrial Site (LSIS) designation within the Southwark Plan. Southwark Plan policy P29 encourages the intensification of industrial uses within LSIS as does the OKRD AAP in policy AAP5.
49. The London Plan 2021 identifies LB Southwark as a borough which should retain industrial capacity.
50. The Old Kent Road was designated as an Opportunity Area through the previous iteration of the London Plan, with an indicative capacity of 1,000 new jobs and a minimum of 2,500 new homes. However, this has been increased to an indicative capacity of 12,000 homes, and 5,000 new jobs in the New London Plan (2021). The Draft OKR AAP sets targets of 20,000 new homes and 10,000 new jobs, to be supported by new infrastructure, including parks and schools. It proposes the release of a substantial part of the Strategic and local Preferred Industrial Location designation to allow for the creation of mixed-use neighbourhoods where new and existing businesses would co-exist with new homes. This release has now been confirmed in the recently adopted Southwark Plan.

51. The subject site is allocated within the Southwark Plan as part of Site Allocation NSP 68 and site OKR 13 of the AAP which allocates the site as part of a wider regeneration area. OKR 13 identifies that the area will continue to provide jobs and employment space including in standalone industrial buildings as shown in the Building Typologies and Land Use plan. Whilst this site is not identified for use as a standalone industrial building, it is considered suitable for such a use when considering the overall pipeline of housing coming forward in the remainder of the sub area.
52. The site is of sufficient size to accommodate this large-scale logistics development with flexible employment uses and with intelligent design has mitigated the impact on the neighbouring residents in Rotherhithe New Road and Canal Grove. As such, the application would represent a suitable typology for the site and enable the delivery of a the AAP plan ambitions to deliver an additional 10,000 jobs in the Opportunity Area.

### Employment re-provision (no net loss)

53. Draft Policy AAP 5, and Southwark Plan Policy P30 require developments to retain or increase the amount of employment floorspace on site (Use Class E(g)) or sui generis employment generating uses). The development would provide 22,882sqm GIA of floorspace, in comparison to the existing 4,200sqm and the 5,234sqm of the extant permission. This is a significant uplift on employment floor space currently on site and approved.

### Job creation

54. The application proposes to optimise the use of this underutilised industrial site with highly sustainable and innovative logistics development comprising some 22,882 sqm GIA and job creation of up to 450 jobs from the logistics hub.
55. The Council's Local Economy Team (LET) has been consulted and are fully supportive of the scheme. LET officers recommend that obligations under the s106 are imposed to secure the delivery of the policy compliant 10% affordable workspace to include the strategy as to how this will be achieved in accordance with LBS best practice, construction phase employment and end phase employment. LET officers have also agreed that there can be the flexibility of a policy compliant payment in lieu to meet the 10% obligation.

### **Assessment of main town centre uses**

56. The subject site is designated within the Southwark Plan as being part of the Old Kent Road South District Town Centre. Given that the development would provide flexible commercial space approximately (531sqm GEA floorspace) comprising office, display/retail and sale of food and drinks on the ground floor of the building to help animate the building, it is considered that the scheme would help to deliver the future aspirations of the Town Centre and accord with Southwark Plan policy NSP68 and Old Kent Road AAP6.

### Affordable workspace (AWS)

57. Southwark Plan Policy P31 (affordable workspace) includes a requirement for development proposing over 500sqm of employment space to include 10% of the proposed gross new employment floor space as affordable workspace on site. The Applicant is a well-established, specialist commercial developer working within the borough.
58. The development proposes to make a payment in-lieu of on-site provision to meet the 10% policy requirement. This approach is consistent with the development policy and is acceptable.

### Conclusion on land use

59. The scheme would deliver major regeneration benefits, including a significant contribution to the borough's employment targets, inclusion of affordable workspace and the introduction of high quality commercial floorspace. It is therefore considered that the development, in land use terms, is acceptable, and its contribution to Site Allocation NSP68/OKR13 and the surrounding Old Kent Road Opportunity Area (OKROA) should be supported.

### **Design considerations**

60. Policy P13 (Design of places) of the Southwark Plan states that development should ensure height, scale, massing and arrangement respond positively to the existing townscape, character and context. Policy P14 (Design quality) Requires developments to have high standards of design including building fabric, function and composition, along with innovative design solutions that are specific to the site's historic context, topography and constraints. With specific reference to tall buildings, Policy D9 of the London Plan (2021), 'Tall Buildings' and P17 (Tall buildings) of the Southwark Plan sets out design requirements for tall buildings, both of which are discussed in further detail in the following paragraphs. The tall buildings policies also state that the highest tall buildings will be located in areas where there is the greatest opportunity for regeneration, including Opportunity Areas, such as The Old Kent Road Opportunity Area.

### **Site layout**

#### Site contex

Image – Aerial photo



Google Earth birds eye view of site and surrounding Verney Road

61. The subject site is predominantly rectangular in shape and measures circa 0.75 hectares. The site is comprised of two plots containing a mix of low-rise, predominantly brick and metal warehouses with gable end frontages. Adjacent to the subject site, to the west, is the part 6, part 19 storey 'Bermondsey Works' development located at 399 Rotherhithe New Road. The BW building contains the John Keats Primary Free School and the City of London sixth college at its western end. Silverbrook Medical Centre is located adjacent to the primary school. A school coach parking bay and 'Keep Clear' zone for the primary school is located on the northern side of Verney Road. Residential dwellings occupy the upper floors of the building. To the south and southeast the site is bounded by the low rise industrial/commercial buildings of 14-16 Verney Road that are accessible from Verney Road, and 1-3 Wevco Wharf accessible from Sandgate Street. Further residential properties, nos. 1-17 Canal Grove cottages.

### Site layout

62. The built form extends across the majority of the site allocation, setting back from the Verney Road frontage, to provide increased public realm outside the school opposite. The massing has been designed to contribute to increased streetscape to the rear and eastern edge of the site, which will benefit future development of the wider masterplan. The upper level has been set back along Verney Road to reduce the impact of the massing on the school, proposed linear park and residential properties opposite. The setback is considered to provide additional articulation to the form.
63. The site is situated in site allocation OKR13 of the Old Kent Road Area Action Plan. The masterplan envisages the eventual closure of Verney Road to create a linear park with a primary servicing route being created along the historic canal alignment, to the south of the existing Verney road. With this in mind the development has carefully considered the design of the southern elevation to create a positive frontage to the new Verney Road when it comes forward. Careful consideration has also been given to the articulation of the form to minimise the impact of the proposal on the surrounding context and nearby

heritage assets.

64. The majority of the development comprises the logistics hub, which lends itself to flexible industrial floorspace to facilitate multiple tenancies. Commercial uses front Verney Road, providing activation to the future Linear Park. High proportions of glazing at lower levels would provide a street presence to the development.
65. The ground floor layout lends itself to be adapted as the area evolves. The ground floor has been designed to enable flexibility to its layout, accommodating the projected plans in the area as envisaged by the masterplan to accommodate a new servicing route and part closure of existing Verney Road. The servicing yard will be internalised to the northwestern corner of the scheme situated away from the entrance of the primary school. Internalised servicing will reduce noise impacts and protect the amenity of existing and emerging residents. The proposed internal layout allows for direct access from the servicing yard via a central goods service lift to upper levels of the multi-storey industrial floorspace, providing a functional and efficient internal layout.
66. The existing urban grain consists of a mixture of warehouse typologies and residential housing. Historically the area formed part of the workings of the gas works, with the majority of the residential housing being replaced with industrial / commercial units to serve the gas works. As such, the proposed typology would be consistent with the historic pattern of development and the emerging character as set out in the AAP. Whilst the site remains impenetrable to pedestrians, it is considered to improve the existing streetscape environment by creating an improved frontage along Verney Road, with increased footways along Verney Way and the proposed new Verney Road alignment.

## Height scale and massing

Image: Elevations



67. The proposed massing has been carefully considered to minimise the impact of the proposal on surrounding residents at Bermondsey Works and Canal Grove Cottages. The upper level is stepped back to provide relief in the form. The vertically stacked industrial hub consists of 4 storeys with industrial floor to ceiling heights, extending at its maximum point to 37.35 metres AOD which is determined as a tall building by definition of the London Plan. The building line is set back from the Verney Road frontage and opposite residents, providing a more generous public realm at ground floor.

### Draft OKR AAP

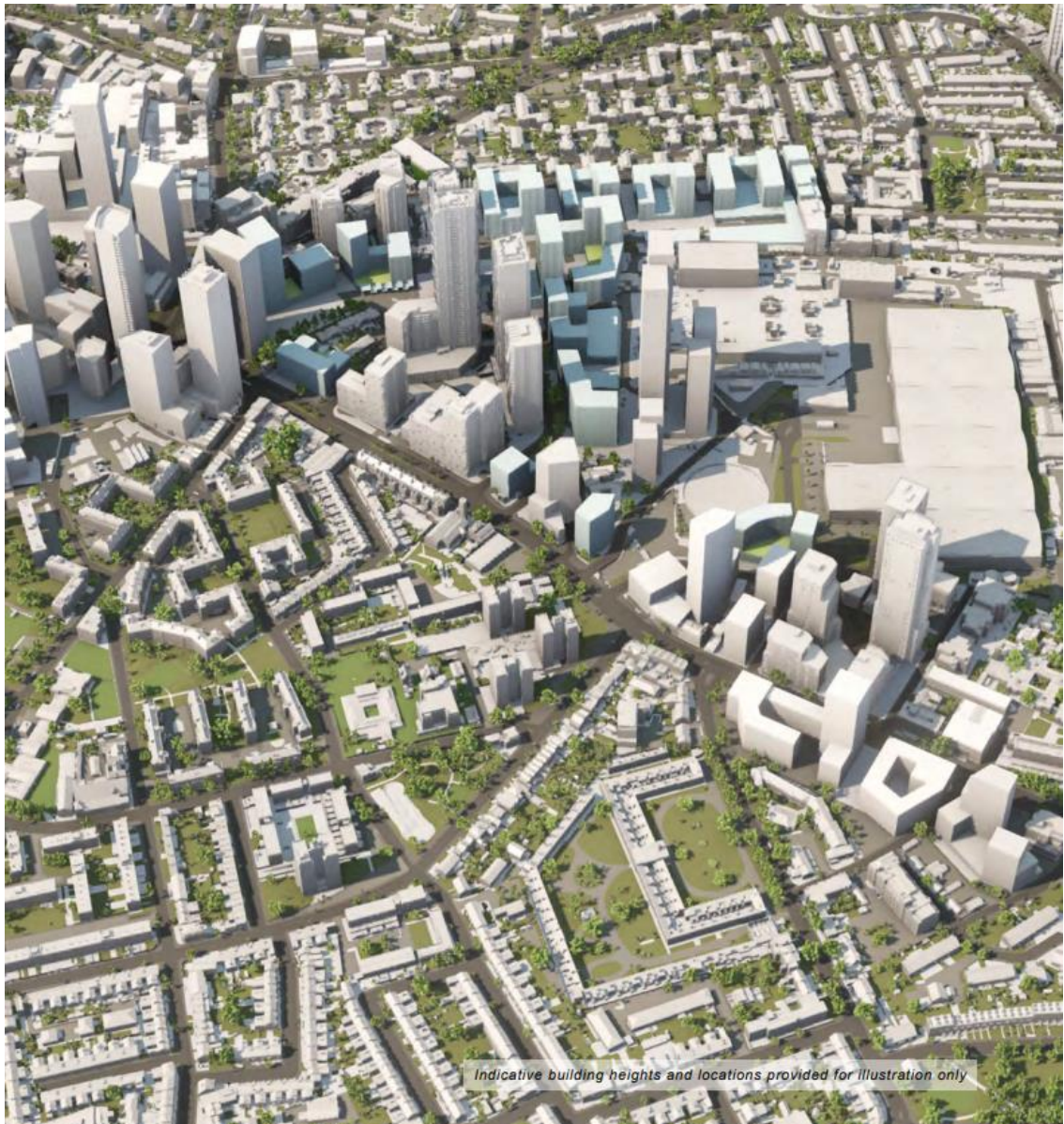
68. Policy 8 of the draft OKRAAP sets out a tall building strategy, the OKR 'Stations and Crossings' that should be adhered to in order to maximise the potential of the Old Kent Road. 'Tier One' buildings represent developments that exceed 20 storeys in height. These developments are proposed to be sited in the vicinity of the proposed BLE stations, to mark their city-wide significance and optimise the use of land in the most accessible locations. A 'Tier Two' development (between 16 and 20 storeys) will mark places of local importance to help define their character and assist wayfinding.
69. 'Tier Three' tall buildings (up to 15 storeys) will act as markers within the neighbourhood. At appropriate corners and junctions, or in relation to important land uses, they will emerge from the lower buildings that enclose the streets and open spaces. Buildings that are not defined within the three-tier structure will generally be expected to be of a lower/mid-scale from 3 to 11 storeys



depending on context. Typically, they will form the shoulder height of podiums and/ or perimeter blocks defining streets within the masterplan or mediating the transition of scale on the edges of the masterplan. The majority of buildings at the edges of the masterplan are of a lower height to mediate the transition in scale between the masterplan proposals and existing residential communities.

70. The subject site is located towards the centre of the Masterplan within Sub Area 3. The AAP identifies the site as an opportunity for increased height more than the prevailing context. Page 168 of the AAP details the height guidance recommended within sub area 3. It should be noted that there is an extant permission for a mixed-use development comprising three taller buildings (a mixture of Tiers 2 and 3 tall buildings) already on the site, which establishes the principle of increased height in this location. Given the above, the height is therefore in line with the requirements of the OKR AAP.
71. **Image: The 'Stations and Crossings Strategy in the draft OKR AAP**

In line with the 'Stations and Crossings' strategy, the height and scale of development in this area should be greatest at the 'crossing' where Rotherhithe New Road/St James's Road meets Old Kent Road and should reduce towards the interface between new development and surrounding residential neighbourhoods.



72. As such, whilst the massing of the development will exceed the prevailing building heights, it is considered to be consistent with the emerging character of the area and the draft OKR AAP. The built form mediates the transition in scale to the historic cottages to the south of the site and would sensitively respond to the high-rise residential development opposite. The appearance of the proposed massing has been assessed below, where design detailing, expressed cores and window openings would create vertical and horizontal breaks to further modulate the form.

### London Plan (2021)

73. As the development would be substantially taller than its existing surroundings, with the exception of the Bermondsey Works development opposite at Rotherhithe New Road, it would be defined as a tall building in the adopted London Plan (2021). Policy D9 of the 2021 London Plan, 'Tall Buildings', states that '*Boroughs should determine if there are locations where tall buildings may be an appropriate form of development, subject to meeting the other requirements of the Plan*'. Furthermore, London Plan Policy SD1 'Opportunity

Areas' affirms the need to ensure that Opportunity Areas maximise the delivery of affordable housing and create mixed and inclusive communities. Table 2.1 of Policy SD1 identifies Old Kent Road as an Opportunity Area with an indicative capacity of 12,000 new homes, and 5,000 new jobs. As such, the Old Kent Road Opportunity Area is, in principle, an appropriate location for tall buildings which optimise housing delivery and regeneration benefits. The proposed development is considered to achieve both, whilst also meeting the other requirements of London Plan Policy D9 such as architectural quality, visual, and environmental impacts of tall buildings which are discussed in further detail below.

74. National, Regional, and Local Policy state that the impact of tall buildings in sensitive locations, including the settings of conservation areas and listed buildings should be given particular consideration. The location of the subject site is located near the Livsey Conservation Area and Grade II listed buildings Canal Grove Cottages and the Grade II listed Gasholder no.13 from the former gasworks. The specific impact of the proposed development on this, and the wider townscape context is assessed in more detail below in the Heritage and Townscape Consideration section of this report.
75. The draft OKR AAP and LP Policy E7 identifies vertically stacked industrial typology as suitable for the intensification of industrial uses. The architectural design and functionality of the development has been carefully considered to ensure a high quality and efficient addition to the townscape.

### Southwark Plan

76. Southwark Plan Policy P17 refers to tall buildings, and where they should be located within the borough. The identified areas are typically within Major Town Centres, Opportunity Area Cores, Action Area Cores and the Central Activities Zone. Individual sites where taller buildings may be appropriate have been identified in the site allocations. Contained within the Southwark Plan are areas within the borough identified as site allocations; The application site falls within site allocation NSP68. Given that the site has an extant permission for tall buildings; is located within the Old Kent Road Opportunity Area, and is identified in a site allocation, the site is considered to be a location where a tall building could be successfully integrated.
77. To further test the suitability of the site for a tall building, Policy P17 also states that the design of buildings should be exemplary in architectural design and makes a positive contribution to wider townscape character. Developments should maximise energy efficiency and prioritise the use of sustainable materials. Finally, tall buildings should have a positive relationship with the public realm, provide opportunities for new street trees, and design lower floors to successfully relate to and create a positive pedestrian experience through widened footways and routes to accommodate increased footfall. To assess the suitability of this site as an acceptable location for a tall building, Policy P17 requires proposals to:
- Be located at a point of landmark significance; and
  - Have a height that is proportionate to the significance of the proposed location and the size of the site; and

- Make a positive contribution to the London skyline and landscape, taking into account the cumulative effect of existing tall buildings and emerging proposals for tall buildings; and
- Not cause a harmful impact on strategic views, as set out in the London View Management Framework, or to our Borough views; and
- Respond positively to local character and townscape; and
- Provide a functional public space that is appropriate to the height and size of the proposed building; and
- Provide a new publicly accessible space at or near to the top of the building and communal facilities for users and residents where appropriate.

78. It is acknowledged that the subject site although devoid of any landmark features adjoins the distinctive 399 Rotherhithe New Road aka Bermondsey Works development site and it is anticipated that the proposal would further provide an urban presence and legibility given its positioning close to the proposed BLE tube station. The existing area consists of multi-storey industrial units, which provide large elevations with no articulation or activation. Ranging from 2-4 storeys in height with high floor to ceiling heights. As well as lower scaled 2 storey terraced houses. Whilst the development is not a tall building by definition, it would exceed the prevailing height of buildings that exist on site and is referable to the Mayor by virtue of its height (exceeding 30 metres plus providing more than 15,000 sqm non-residential floorspace). The scheme would not exceed the height of the adjoining development at Bermondsey Works. A thorough design consideration has been given to the appearance of the proposal in the townscape. The articulation along the Northern Elevation provides relief to the neighbouring residential properties, it also assists in reducing the overall bulk of the development when seen from mid to longer range views, as well as from the surrounding heritage assets. The development is considered to be compatible with and respects the scale and character of the surrounding area and its setting. The scale and massing of the scheme is considered to be an appropriate addition to the Old Kent Road skyline that would integrate effectively with other emerging tall buildings located within OKR13.
79. In conclusion, it is considered that the proposal's height, scale and massing would comply with the council's policies on urban design and ensure that it responds appropriately to its urban context.

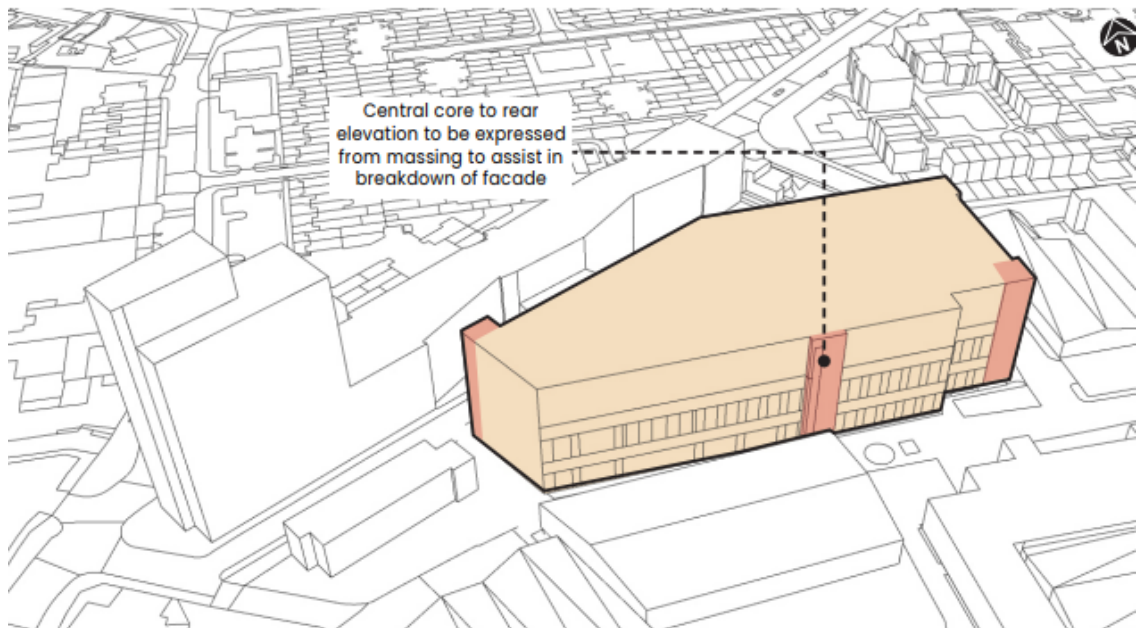
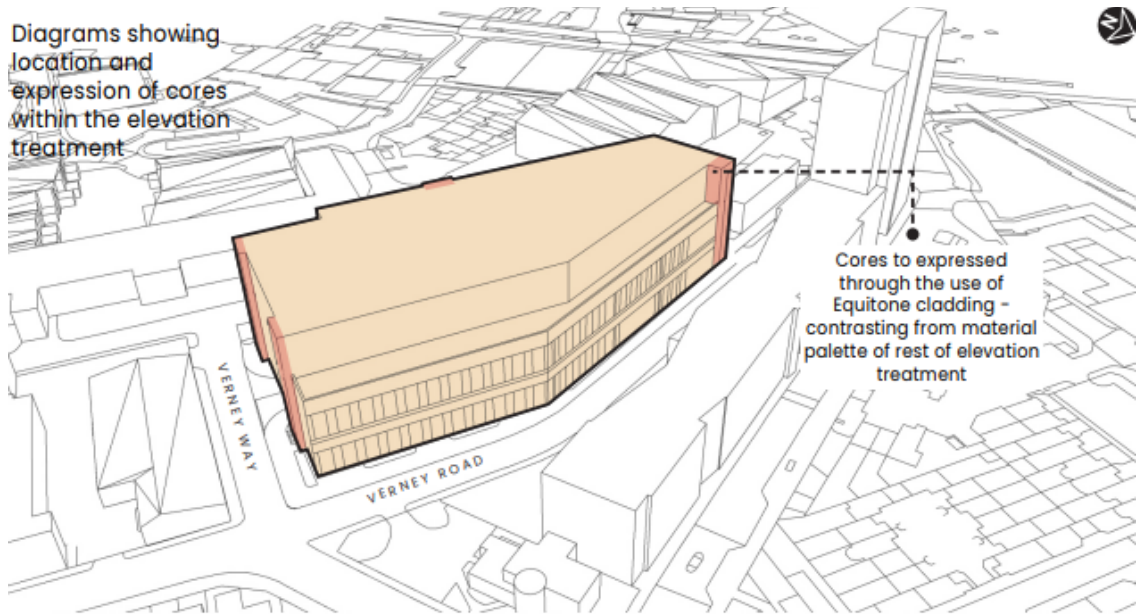
## Architectural design and materials

Image: CGIs



80. The proposed architectural design has been well considered and is reflective of its internal use and historic industrial context. Further refinement of the elevational design has been carried out following engagement with officers, which has sought for a more original form with expressed cores, greater articulation across the facade, an increased into the amount of fenestration and a setback of the massing at upper levels.

## Proposed cores and bays



81. Whilst the structure of the development is mostly consistent with the shape of the site. The set back at second and third floor level and the protrusion of stair cores provides additional interest and helps to modulate the form. The existing area is an eclectic mix of materials and architectural styles. The design is reflective of this context. The use of a brick has been included at the base of the development, positively grounding the upper levels and providing a rich durable finish at street level.
82. Regular slim fenestration bays across the upper levels in particular along Verney Road elevation help to provide an orderly break across the façade and window into work opportunities. The large ground floor openings relate directly to the street, activating the streetscape and providing an interactive frontage. Industrious style glazing bars responds to the scale of windows above. The sense of verticality and design of window bays are influenced by the industrious

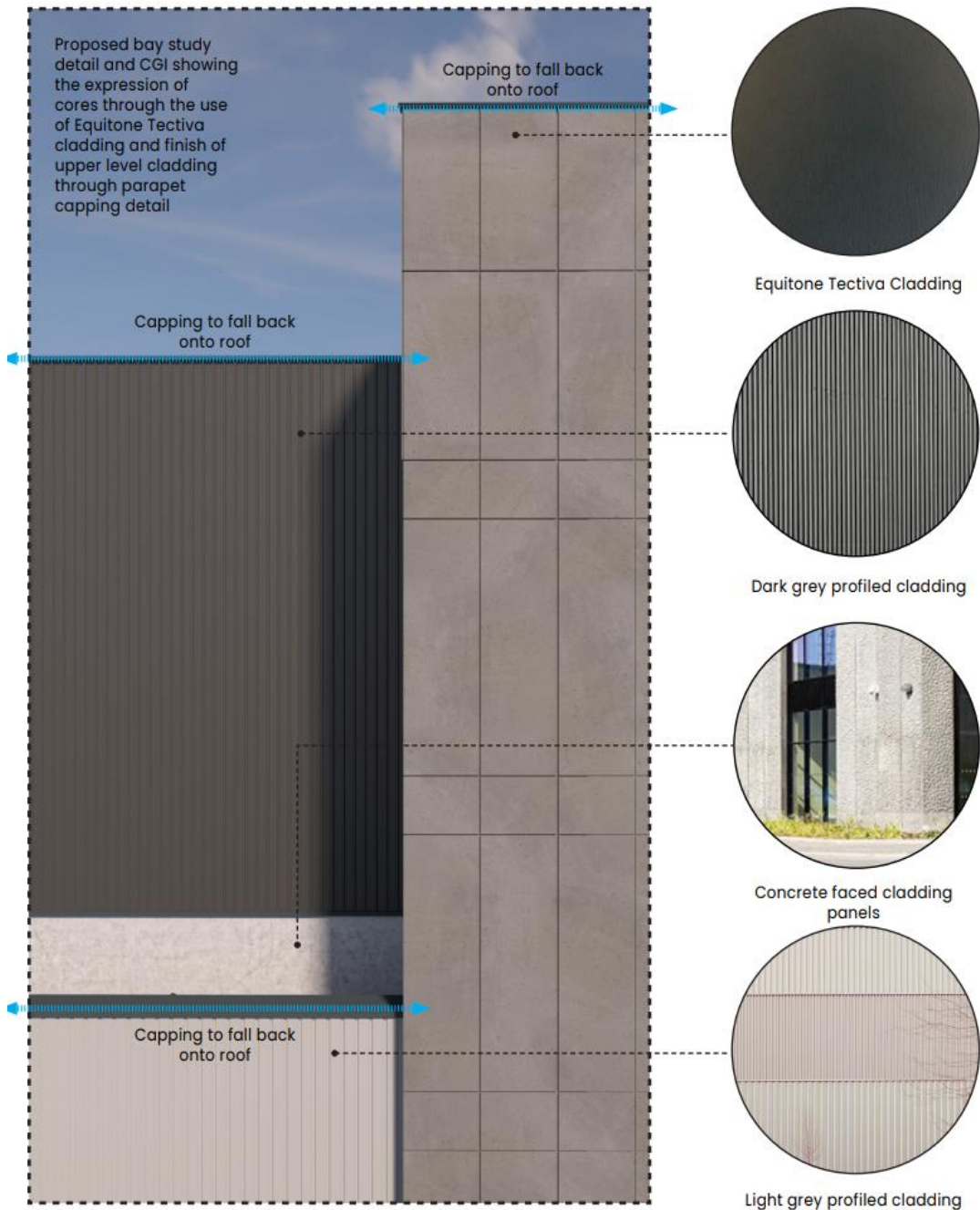
character of the area, which is in line with the AAP.

## Upper storey setback



83. A generous setback would provide an amenity space for occupiers as well as providing a recess in the massing from the Bermondsey Works residents. Office space is situated on the Verney Road frontage, with an outlook over the proposed linear park providing passive surveillance.
84. The architectural finish responds to the character of the area integrating brick and cladding materials together, to give a high-quality industrious finish which is reflective of its internal use. Additional glazing to the cores provides a sense of activity and contributes to the industrious character of the building.
85. The three colour variations and alteration in materiality across the building helps to further modulate the form, providing horizontal breaks. A darker fascia panel in fibre cement cladding slightly projects forward to address the junction between the contrasting materials. Equitone cladding is proposed as a contrasting material that will run the full height of the cores to accentuate this structural component from the rest of the elevation. The cladding panels range in profiles to provide added interest in immediate views. Initial section drawings were submitted as part of the application and provide confidence that the junctions between the cladding panels will be dealt with sophisticatedly with hidden fixings and continued emphasis on the sense of verticality across the façade. To ensure that this level of detailing is continued to construction, a condition has been attached. The use of cladding in this instance at upper levels is supported, as will have a high-quality finish. Window mullion details reference earlier warehouse characteristics of the area and provide additional

depth to the window bays.



### Conclusion on architectural design

86. In conclusion, the architectural design and materiality of the proposal is considered to be of high-quality and will be an exemplary example of this typology as a standalone industrial building in a central urban context. The scheme is an unique and distinctive type of development which would positively integrate with the existing and emerging townscape. Overall, the design and proposed material palette is considered to be reflective of the existing character of the area, referencing its industrial heritage. In order to ensure a sophisticated finish to the proposal with high-quality, articulated facades, a condition is to be

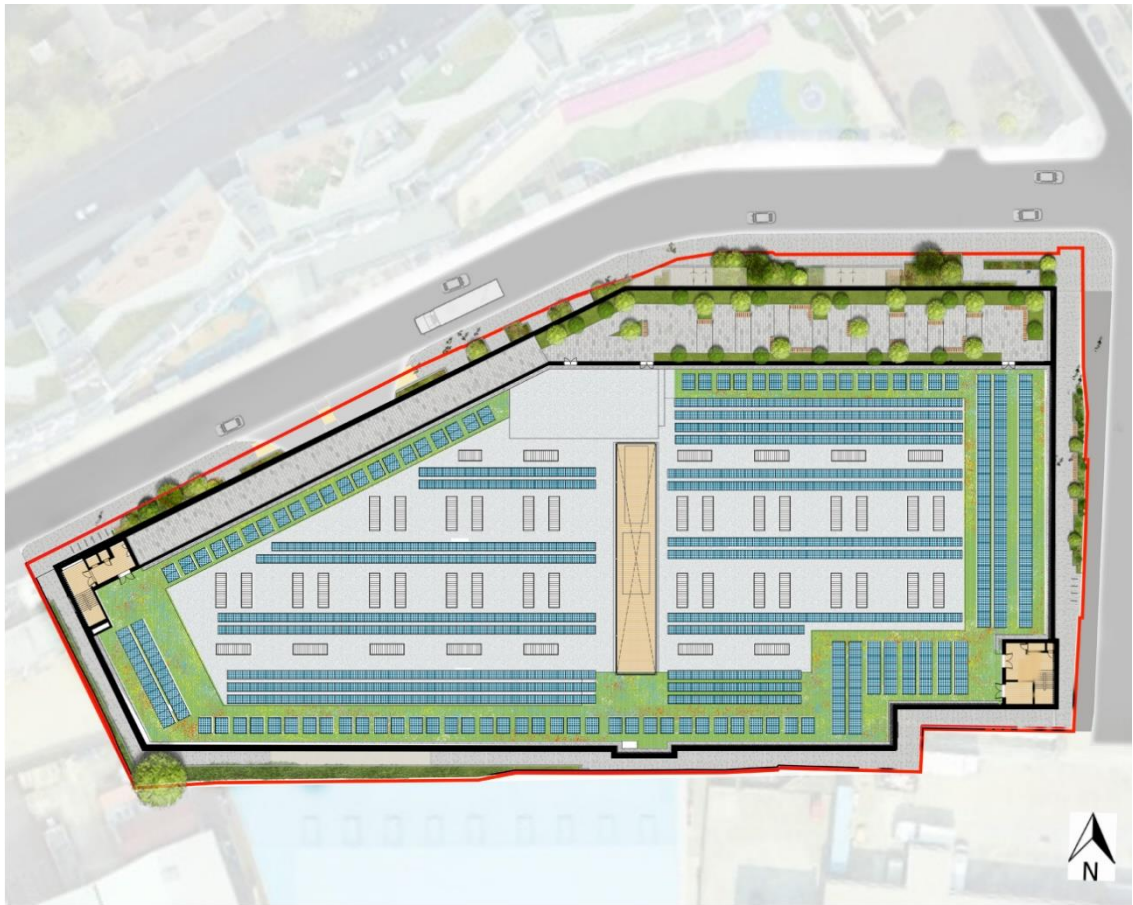


imposed requiring a 1:10 sample panel to be presented on-site, to and approved by the Local Planning Authority.

### Landscaping and Trees

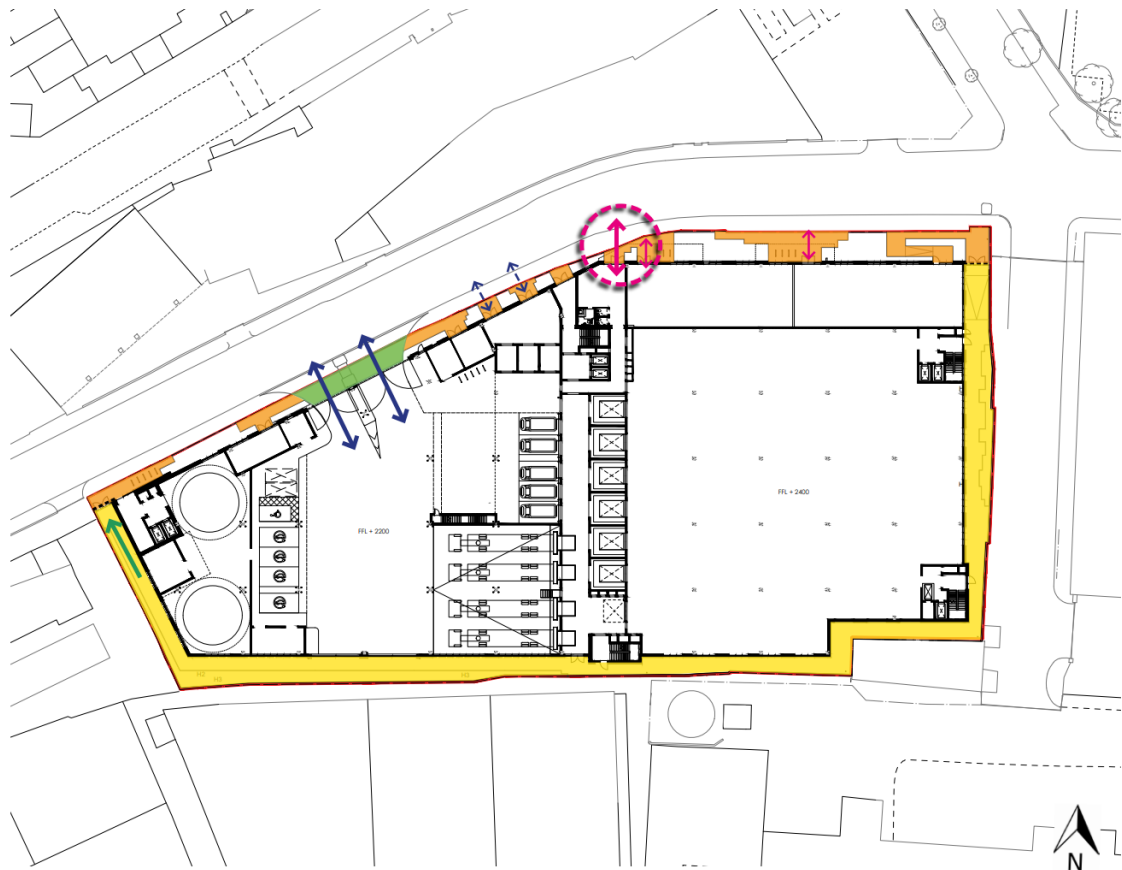
87. Policy 59 (Green Infrastructure) of the SP22 requires major development to provide green infrastructure with arrangements in place for long term stewardship and maintenance funding; for schemes that are referable to the Mayor to be publicly accessible and green links; and be designed to (1) Provide multiple benefits for the health of people and wildlife; (2) Integrate with the wider green infrastructure network and townscape / landscape, increasing access for people and habitat connectivity; (3) Be adaptable to climate change and allow species migration while supporting native and priority species; and (4) Extend and upgrade the walking and cycling networks between spaces to promote a sense of place and ownership for all. Policy 61 (Trees) of the SP22 states that Development will be permitted if trees are planted as part of landscaping and public realm schemes, commensurate to the scale and type of development, and the character of the neighbourhood.
88. The building is setback along the Verney Road frontage to provide a generous footway and contribute positively to the public realm and the conversion of the existing road to a linear park. The increased streetscape facilitates cycle parking, welcoming entrance spaces and pockets of green spaces. Additional greening outside the school would enhance the entrance space for pupils and teachers at the school, improving existing air quality and sense of the environment. The proposed landscaping should be carefully considered to ensure it is in line with the delivery of the Linear Park along the Verney Road alignment. It should provide opportunities for incidental play, trees and areas to dwell, considering its location in close proximity to the school entrance.
89. Employers' amenity space will be provided at upper level on the terrace. The built form is also set back from the southern edge of the site to enable increased footway widths when the new Verney Road is constructed. Landscaping proposals should improve Verney Way, which will become a pedestrian link for pupils.
90. It is understood that in the interim a fence will be provided along the Verney Way boundary for security. However, once the remaining area has come forward for development, in particular the delivery of the new Verney road, the fencing will be removed which will open up the streetscape and improve the public realm. As such, we are satisfied that the fencing as a temporary measure will be acceptable and will be greened to improve it's appearance in the interim.

**Image: Landscape Masterplan for Ground Floor, Level 2 Terrace and Roof Top**



Verney Road Landscape Masterplan

## Ground floor landscape external accessibility



Access plan showing key access points

### KEY

- Vehicle building access
- Additional footway
- Maintenance access only
- Level pedestrian access to building
- Secondary building access points
- Maintenance / emergency exit
- Vehicle entry / exit
- Cargo bike entry/exit
- Security gate
- Application boundary

91. The landscape design consists of proposals for the ground floor and roof levels of the scheme. At ground floor proposals include publicly accessible and private areas. All roof areas are private access only. Proposals at the ground floor includes publicly accessible hard and soft landscaping, seating, cycle parking and tree planting to the frontage of Verney Road. Hard and soft landscaping areas within the ground floor private area include maintenance paths and soft landscape boundary edges that will incorporate existing and proposed trees. There is a private terrace at level two that features soft landscaping with integrated seating offering an outdoor amenity area for those using the building. The roof areas will typically be non-accessible to users of the building/development and incorporate bio-diverse green roofs and zones for

solar panel installation above a blue roof system. The Council's Urban Forester has reviewed the scheme and is satisfied with these elements and has recommended the imposition of suitable conditions for hard and soft landscaping; a landscape management plan; tree planting strategy and a planning obligation to allow for a financial contribution should the tree planting strategy fail to deliver the requisite number of trees. The relevant conditions and planning obligation are thereby attached to this permission.

### Urban greening factor

92. Policy G5 of the London Plan 2021 encourages major developments to contribute to the greening of London by including urban greening as a fundamental element of site and building design, and by incorporating measures such as high-quality landscaping (including trees), green roofs, green walls and nature-based sustainable drainage. The policy also recommends a target score of 0.3 for predominately commercial development (excluding E(g) iii uses).
93. The emerging landscape scheme indicates that the proposed development can achieve an Urban Greening Factor (UGF) of 0.302 and therefore exceeds what may be expected of a development of this type. London Plan Policy G5 sets out that a minimum UGF requirement for a commercial development in Greater London is 0.30 however, this excludes buildings within the use classes B2 and B8 as proposed at the site, for which lower thresholds may be applied.
94. A tree strategy is required as part of the s.106 and also species and planting details as secured by condition. Ideally providing a continuous tree pit at grade along Verney Road to ensure the best possible provision of soil volume and irrigation.
95. BNG reports will be assessed by the Senior Ecologist, however Urban Forestry is satisfied with the UGF preliminary report and plan, with details relating to species reserved to condition.
96. Suggested Conditions for ABOVE GRADE Hard and Soft Landscape and Tree Planting PRE- OCCUPATION Landscape Management Plan S.106 Tree Planting Strategy and Tree Contribution in lieu of any tree not planted in accordance with the tree planting strategy at a cost of £4,000 per tree (index linked).

### Ecology and biodiversity

97. Policies P59 (Green infrastructure) of the Southwark Plan states that developments should provide multiple benefits for the health of people and wildlife, and to integrate with the wider green infrastructure network and townscape / landscape, increasing access for people and habitat connectivity and P60 (Bio-diversity) of the Southwark Plan states that Development must contribute to net gains in biodiversity through, amongst other things: Include features such as green and brown roofs, green walls, soft landscaping, nest boxes, habitat restoration and expansion, improved green links and buffering of existing habitats. The Council's Ecologist has reviewed the proposal and is

satisfied with the ecological assessment submitted in support of the scheme and has recommended the imposition of a number of conditions to cover the roof, soft landscaping and ecological features; bat tubes; swift bricks; further details of the vegetated blue roof; ecological monitoring; and invertebrate habitats. The relevant conditions are thereby attached to this permission.

### Designing out crime

98. Policy D11 (Safety, security and resilience to emergency) of the London Plan, 2021 and Policy P16 (Designing Out Crime) of the Southwark Plan, 2022 requires development proposals to include measures to design out crime and for those measures to be considered at the start of the design process to ensure that they are inclusive and aesthetically integrated into the development and the wider area. The scheme has been subject to a security needs assessment and pre-application engagement with the Metropolitan Police. The SNE has informed the design process and will be incorporated within the detailed design of the scheme. The SNE provided recommendations for the main entrances and reception areas; service areas; façade (glazing and video security surveillance systems); warehouse floorplate entrances; final escape exits and cycle storage. The Secure by Design officers from the Metropolitan Police have reviewed the proposals and are encouraged by the design of the development and considers that it should be able to achieve the security requirements of Secured by Design. As such, this element of the scheme would accord with the relevant development plan policies. A condition is secured in the decision notice requiring the development to achieve Secured By Design accreditation.

### Fire safety

99. Policies D5 (Inclusive Design), D11 (Safety, security and resilience) and D12 (Fire Safety) of the London Plan, 2021 require that: development proposals be designed to incorporate safe and dignified emergency evacuation for all building users; safety considerations must be central to the design and operation of tall buildings; and that buildings be designed and built to accommodate robust emergency evacuation procedures for all building users, including those who require level access. All building users should be able to evacuate from a building with dignity and by as independent means as possible.
100. The application was submitted with a supporting Fire Statement (FS) which was prepared to meet the London Plan policy aspirations. The FS has been prepared by a suitably qualified chartered engineer. The FS does not constitute the detailed fire strategy which is to be developed separately under Building Regulations. The document evidences the provisions made for the safety of occupants as well as the provision of suitable access and provisions for firefighting considering the London Plan's fire safety policy requirements and the rationale for these measures. The FS describes how the design of the development proposal can achieve compliance with Part B, of Schedule 1 of The Building Regulations (as amended) and the requirements of the relevant London Plan Policies for the scheme. The FS systematically assesses the development proposal going through the building construction; means of

escape; passive and active fire safety systems; ongoing management and maintenance; access for Fire Service personnel and equipment; vehicle access and future modifications. The supporting FS would accord with the relevant development plan policies for fire safety and a condition is attached to the permission to secure the delivery of the detailed fire strategy ensuring that it develops the principles covered by the FS.

## Heritage considerations

101. Policy HC1 of the London Plan 2021 advises that development affecting heritage assets and their settings should conserve their significance by being sympathetic in their form, scale, materials and architectural detail. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires local planning authorities to consider the impacts of proposals upon a conservation area and its setting and to pay “special regard to the desirability of preserving or enhancing the character or appearance of that area”. Section 66 of the Act also requires the Authority to consider the impacts of a development on a listed building or its setting and to have “special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”. Para 203 of the NPPF 2023 states that ‘great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.’
102. The site lies to the south of Verney Road in an area of light industrial use with low rise modern industrial buildings constructed of brick and faced in render. There are a few heritage assets in the vicinity of the site. The Livesey Conservation Area lies to the south of the Old Kent Road at some distance from the site. Further north of Old Kent Road are the grade II listed cottages at Canal Grove, immediately to the south of the site - 2-9 Canal Grove and the grade II listed lampstand. The Grade II Gasholder No 13 on the former Old Kent Road Gas Works site lies beyond the Livesey Conservation Area at some distance to the east. There is also a cluster of buildings immediate vicinity on the draft local list: 328 St James's Road and 330- 334 St James Road, a campus of former industrial buildings constructed in the late 19th century formed around a central courtyard. A little further to the east lies 32 Verney Road, a warehouse building of Victorian origins - this has also been added to the draft local list.
103. The Heritage statement accompanying the application provides a good outline of the historic development of the area including the impact of the lost Surrey Canal on the current development layout and heritage of the OKR area. In particular at para 2.30 the heritage statement gives a good commentary on the site, its immediate surroundings and its post Victorian development. It can be concluded that the buildings on the site have no or limited heritage value, however there are some assets in the vicinity whereby significance would be impacted by development within their setting.

### **Impact on heritage assets**

104. In addition to the above policies and legislation, Historic England has also provided relevant guidance to assist in dealing with the matters of assessing the impact on heritage assets: Historic England advice note 3. The HE guidance identifies 5 steps to help advise and quantify impact on significance on each of these heritage assets. The application would affect the setting of the grade II listed cottages (Canal Grove), the Livesey Conservation Area and the grade II listed gasholder. This assessment is detailed below:

#### **Canal Grove Cottages**

105. 2-9 Canal Grove Cottages are a terrace of grade II listed buildings located on Canal Grove to the south of the site. They likely date from the early 19th century and are two storeys with low pitched roofs and stucco frontages. They exhibit classical hierarchy of Georgian villa fenestration and have private small front and rear gardens. They are arranged in a terrace of three central cottages, with two sets of link detached villas either side. They are a good example of middle-class villas dating from the mid Georgian expansion of the Old Kent Road area when the area was developing during this period. George Livesey, the industrialist who was the outstanding gas engineer of his generation was brought up in Canal Grove.
106. The setting of the cottages has been, at least since the late 19th century, industrial. Their location facing the canal but set back behind a wharf and then adjacent to gasometers in the 19th and early 20th century would have at least until the 1970s been associated with engineering, logistics and large-scale development. The late 19th century maps indicate the relationship with the southeast Caroline Road and the "Ruby Triangle" area to the east would have likely been more suburban and domestic with streets and terraces existing until the 1980s.
107. The proposed development would cause some harm to the significance of the Canal Grove Cottages, particularly the setting of 7, 8 and 9, because of the impact on the bulk of the development, and lack of articulation to the facades. The appreciation of the roof pitch and chimneys of the grade II listed buildings, would no longer be seen against a clear sky in views from Sandgate Street. The level of harm is considered to be "less than substantial".
108. The commentary associated with the view from Sandgate Street in the TVIA document, (Representative View Point 4) states:
- "From Sandgate Street at junction with Canal Grove, the Proposed Development would be clearly noticeable rising beyond the two to three storeys industrial development in the middle distance. The increase in height and massing would have a notable presence extending across the local skyline and increasing the influence of taller development. The Proposed Development would also result in the lost [sic] of articulation of the hipped roof of the Grade II listed cottage at no.9 Canal Grove which is currently experienced against a sky backdrop".

109. Originally, only an outline was provided in the cumulative proposed view and an architectural render of the view was requested. This was subsequently submitted with the revised scheme details.
110. Para 208 of the NPPF allows public benefits to outweigh the harm to the asset. The scheme was amended during the course of its consideration to increase their articulation of the elevation which is seen in the context of the cottage buildings, reducing but not removing the harm to the listed buildings. The application is considered to provide a clear public benefit in the creation of employment, the part closure of Verney Road and the delivery of the aspirations of the Old Kent Road AAP. In this instance the public benefits of the scheme are considered to outweigh the less than substantial harm created to these heritage assets.

### **Livesey conservation area and former Camberwell public library and Livesey museum (grade II)**

111. The Livesey conservation area is located on the south side of the Old Kent Road at 650-672 Old Kent Road and the Camberwell Library (now Livesey Museum) and Christ Church. The site is in the wider industrial setting of the conservation area which includes Old Kent Road and the suburban dwellings.
112. The significance of the conservation area is as a good example of high-quality working-class tenement housing above shops in fine terraces with largely intact original detailing, materials and architecture. The conservation area also includes landmark buildings and architectural set pieces of the Camberwell Library (now Livesey Museum) and Christ Church on Old Kent Road. The principle setting of the conservation area and the grade II listed building is the Old Kent Road and its character as a historic primary thoroughfare dating from the Roman period, with this particular part of the conservation area retaining examples of Victorian development associated with the 19th century incarnation of the street.
113. The wider industrial areas to the north are associated with the canal and its proximity with the Old Kent Road in terms of logistics, engineering and commerce. The tenants in the flats would have worked in the industrial and canal areas, worshipped in the church and used the library. These industrial areas including the site form part of the wider setting of the conservation area.
114. The proposals bulk would be appreciated from the Old Kent Road; however, it would form part of a back drop of other industrial buildings and taller consented applications. The principal views of the conservation area would remain intact, and although there would be some change to the wider skyline when looking out of the conservation area, there would be no harm to the area's significance. This would comply with P20 Conservation areas and complies with para 203 of the NPPF.

### **Gasholder No 13 Old Kent Road former gasworks (grade II)**

115. The grade II listed gasholder lies approx. 400m southeast of the site. It is the last remaining gasholder of the South Metropolitan Gas Company and was built by their notable principle, George Livesey a pioneer of gas during the early to



mid-Victorian era. Livesey grew up in Canal Cottages and the museum and library on Old Kent Road is named after him. Gasholder No 13 at Old Kent Road is a rare survival of a technologically and historically important development which influenced later design not just in England but worldwide.

116. The industrial setting contributes to the asset's significance, as does Canal Grove cottages, and the Old Kent Road itself. There are some particularly tangible views in an around the area that show the intervisibility between the gasholder, the Old Kent Road and Canal Grove Cottages. While some of this Victorian industrial landscape has been eroded through the loss of the canal and extensive change of the Victorian warehouse, logistics and gas holder buildings, the area remains clearly industrial in character.
117. The proposed development may be glimpsed in views from the gasholder, and from views from Verney Road where both the development and the gasholder would be visible. However, these views are not significant and the proposed development would have a neutral impact on the setting of the gasholder.
118. It is considered that the development would lead to less than substantial harm to the significance of a designated heritage asset. Nonetheless, this harm being weighed against the public benefits of the proposal including, the regeneration of an underused low density industrial site to provide a state-of-the-art last mile logistics development delivering an optimum viable commercial use to provide some 400+ jobs in the area in a sustainable manner. In this instance those benefits are considered to outweigh the harm.

## **Archaeology**

119. The site is located within the 'North Southwark and Roman Roads' Tier 1 Archaeological Priority Area (APA), which is designed to protect the palaeological environment and prehistoric archaeology recovered from the shoreline and relict fills of the large Late Glacial Bermondsey Lake and the associated riverine geology and topology.
120. Policy P23 of the Southwark Plan 2022 requires that applications affecting sites within Archaeological Priority Areas (APAs) will be accompanied by an archaeological assessment and a report on the results of a field evaluation of the site, including an assessment of the impact of the proposed development on the archaeological resource.
121. The applicants have submitted a desk-based assessment that includes an unreasonably large search area, as there was no consultation before the production of the desk-based assessment. This has meant the desk-based assessment has not understood the archaeological significance of the area and has not understood the prehistoric potential of the site. The site is located within an area of significant geo-archaeological interest. Had the applicant's archaeologist undertaken any consultation in advance of their desk-based assessment the significant archaeology in the area would have been pointed out to them, and much of the desk-based work that will have to be secured by condition will have to be undertaken after determination of the application. There have been a number of geo-archaeological assessments within the surrounding area where the data should be incorporated to add to a geo-

archaeological model for this site. There is also nationally significant archaeology within the search area that was missed by the applicant's archaeologists. There are two bronze-age and earlier timber platforms/ trackways within their search area. These have not been detected in the analysis of HER data. As a first stage of any work post-determination the applicant's archaeologists should undertake a collation of geo-archaeological and other borehole data from surrounding sites to produce a model of the geo-archaeological topography of the underlying site. This should be informed by a programme of boreholes and archaeological trenching to inform any further work. The site also contains a noted art pottery site, the Canal Pottery. Examples of the work of this pottery are in the Victoria and Albert Museum collection. The site is worthy of evaluation and potentially further excavation depending upon survival. Should you be minded to grant consent for this application the following conditions should be applied to ensure compliance with local and national planning policy.

122. The conditions are to cover archaeological evaluation (pre-commencement); archaeological mitigation (pre-commencement); foundation and basement design (pre-commencement); archaeological reporting (1-year post-completion of archaeological work). There is also a requirement for a financial contribution for archaeological monitoring within the planning obligations package to mitigate the impacts of the development.

### **Impact of proposed development on amenity of adjoining occupiers and surrounding area**

123. Policy P56 (Protection of amenity) of the Southwark Plan states that developments should not be permitted when it causes an unacceptable loss of amenity to present or future occupiers or users. This includes privacy and outlook impacts, overlooking or sense of enclosure, loss of daylight and sunlight, and unacceptable noise from developments.

#### Outlook and privacy

124. In order to prevent harmful overlooking, the Residential Design Standards SPD requires proposed developments to achieve a distance of 12 metres between the front elevations of buildings and/or across a highway, and a minimum of 21 metres between rear elevations.
125. The subject site is opposite the mixed-use Bermondsey Works development (BW) which largely comprises a primary school and residential properties above. The primary frontage of BW is onto Rotherhithe New Road with its rear elevation facing Verney Road. The John Keats primary school within BW has its playground facing Verney Road with secure, well established site boundary enclosures that are approximately 2 metres height preventing passers-by looking directly into the playground area. The development proposal is separated from the BW ground floor site boundary by the width of the Verney Road highway plus the slight setback of the development's building footprint resulting in a minimum distance of 14.5 metres. In regard to the upper floor residential properties and main school building the development proposal would have a minimum distance of 20 metres and have translucent glazing

which will not permit views out of the building in its northern elevation facing BW. The second-floor terrace facing BW would be setback by a further 4.5 metres (minimum) resulting in a minimum distance of 24.5 metres between the buildings. There would be no use of the roof level as an amenity space for users of the development. It is proposed to add a condition regarding to its use to ensure neighbourly use of the amenity area. As such, the application would comply with the Council's adopted standards as set out in Southwark's SPD.

### Daylight and sunlight

126. The Building Research Establishment (BRE) Guidelines set out a series of assessments to determine whether a Proposed Development is likely to have a noticeable impact upon neighbouring daylight and sunlight amenity. They provide numerical guidelines against which the differential in daylight/sunlight levels can be measured.

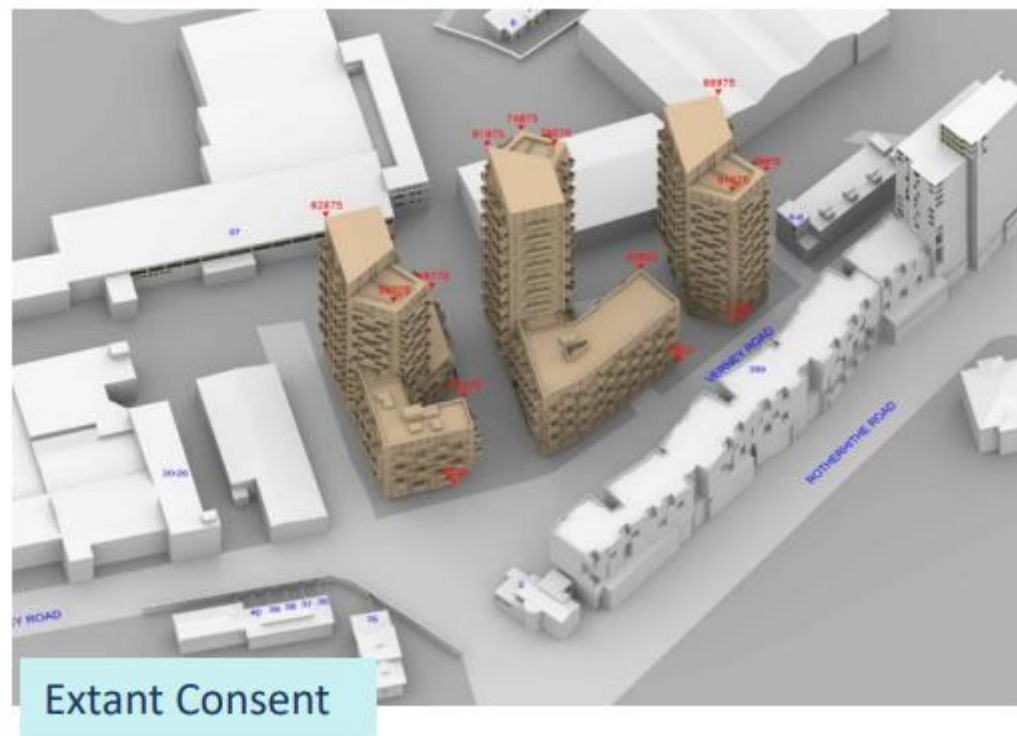
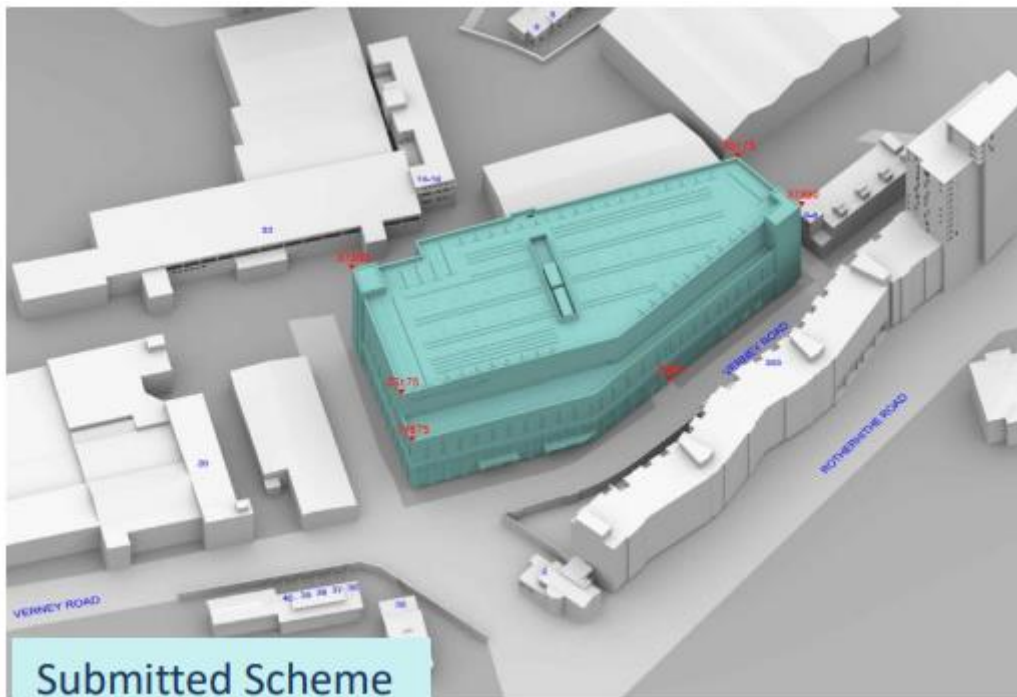
127. These are summarised as follows:

Vertical Sky Component (VSC) – This is the measure of the view of available sky from the centre of a window. The BRE guidelines advise that if a window receives 27% VSC then it should continue to receive sufficient daylight, irrespective of alteration. If the window experiences a reduction in VSC of 20% or more, then this is likely to be noticeable. A few key contextual considerations include the fact that the BRE is predicated on a suburban housing model, so must be applied flexibly in more urban environments, particularly growth and opportunity areas. It is also widely acknowledged that lower retained VSC levels are generally acceptable in urban locations, where it is not possible to achieve the 27% VSC level due to the built-up nature of urban environments.

128. No-Sky-Line (NSL) – This is the measure of where sky is visible from within a room, at working plane level (desktop height). The BRE advise that if the NSL is reduced by 20% or more, then the change in daylight is likely to become noticeable. Again, key contextual factors to consider include the BRE's acknowledgment that NSL to bedrooms is less important, and rooms lit from one side and greater than 5m deep may experience larger, unavoidable changes in daylight distribution. The NSL test is not a test of adequacy, rather simply the ability to see some sky within the room.

129. Annual Probable Sunlight Hours (APSH) – This is the measure of sunlight availability from the centre of a window. The test assesses the amount of sunlight availability reaching a room, and the focus is on main living rooms. Kitchens and bedrooms are not required to be analysed. The guidelines recommend that living rooms should receive at least 25% APSH annually, with 5% available during the winter months. If a room does not achieve these levels and experiences a reduction in APSH of more than 20%, then this is likely to appear noticeable. Key contextual factors include the limiting effect that balconies/overhangs and recessed windows have on both daylight and sunlight availability.

130. The original and amended application proposals were supported by an accompanying daylight/sunlight assessment report. A key consideration for the assessment is the extant February 2022 approved mixed-use residential led scheme that comprised three towers (approximately 63m, 67m and 82m in height).
131. The approach taken by the reports have been to initially undertake detailed Daylight, Sunlight and Overshadowing assessments in accordance with the BRE Guidelines, comparing the current site conditions with those as proposed by the Submitted Scheme. Whilst the assessments primarily focused on how the daylight/sunlight effects compare to the BRE numerical targets, a second supplementary assessment also looked at the retained levels and assessed whether they exceed the typical levels of daylight that are commensurate with more urban locations and opportunity areas: the approach has been used by both the Council and the Greater London Authority (GLA) to interrogate retained absolute levels of daylight potential in Growth and Opportunity Areas and has been used as a basis to inform the analysis and evaluation of what are acceptable daylight levels in the context of the Old Kent Road Opportunity Area (OKROA). It is an approach that was considered acceptable in respect of the Extant Consent. The Reports further undertook a comparison against the effects of the Extant Consent to determine whether there would be any noticeable additional effects identified beyond those already deemed acceptable.



132. The Reports recognise that the application proposal will inevitably give rise to some reductions in daylight and sunlight to some neighbouring properties surrounding the Site, particularly given the current low rise site conditions. In respect of the nearby Bermondsey Works there is a good rate of compliance against the BRE recommendations, and most windows retain a VSC that should be considered acceptable for an opportunity area in Central London. Virtually all of the windows that fall below the targets identified in the guidance are heavily self-obstructed, making them more susceptible to larger relative alterations. There would be an excellent rate of sunlight compliance across the building, for both annual and winter sun.

133. Elsewhere around the site, the effects are less noticeable, and the comparison against the Consented Scheme demonstrates that the overwhelming majority would either experience improved levels of retained daylight and sunlight by comparison to the position where that scheme were developed out, or no further change.
134. Where there are some further alterations recorded, these are isolated in number and generally occur in respect of NSL to bedrooms, which the BRE guidelines acknowledge are less important. Any further effects resulting in VSC reductions are fractional in absolute terms and unlikely to be perceptible.
135. The overshadowing assessments have shown that whilst there will be some overshadowing of the school playground areas in March, there will be very good levels of sunlight availability in the summer months. In addition, the Proposed Development generally gives rise to improved sunlight availability by comparison to the Consented Scheme, particularly the main playground areas which will be the most actively used spaces during the day by the school pupils.
136. Overall, it is considered that whilst there will be some inevitable reductions in the levels of daylight and sunlight amenity currently enjoyed by the surrounding residential properties, this is an inevitable consequence of any meaningful form of development on this currently low-rise industrial site which optimises its use. The resultant levels of daylight and sunlight with the Proposed Development in place are commensurate with other Growth and Opportunity Areas across London, whilst the comparison with the Consented Scheme for the site clearly demonstrates that the vast majority of neighbouring windows and rooms would either experience an improved level of retained daylight and sunlight by comparison to the position where that scheme is developed out.

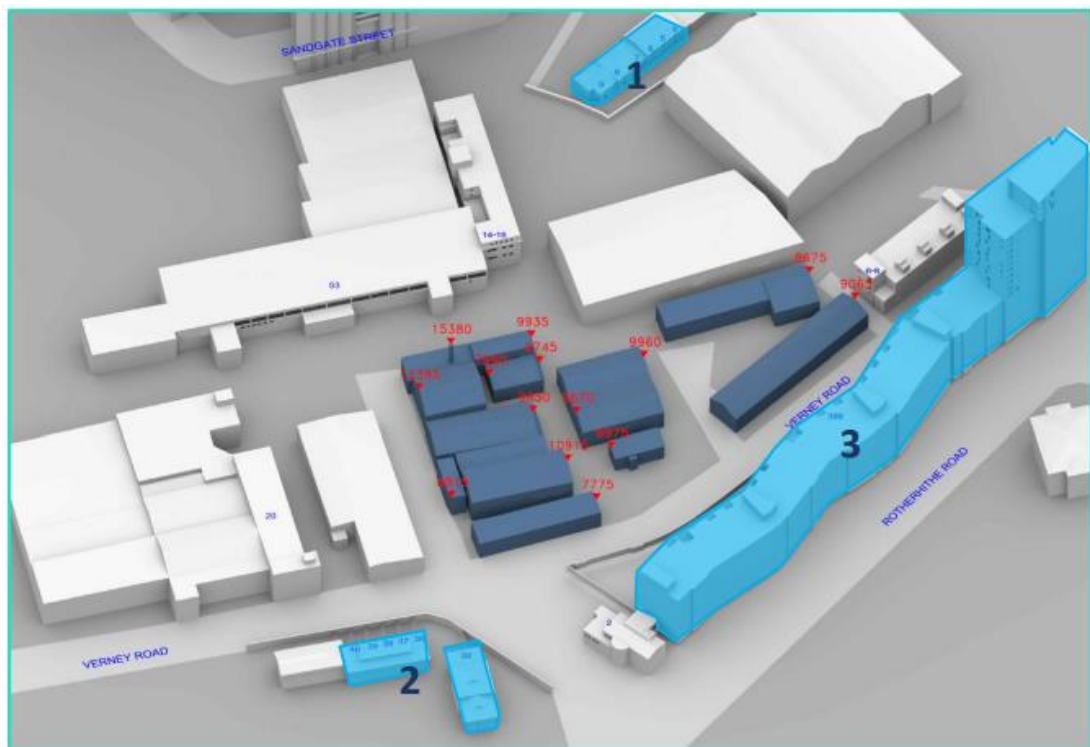
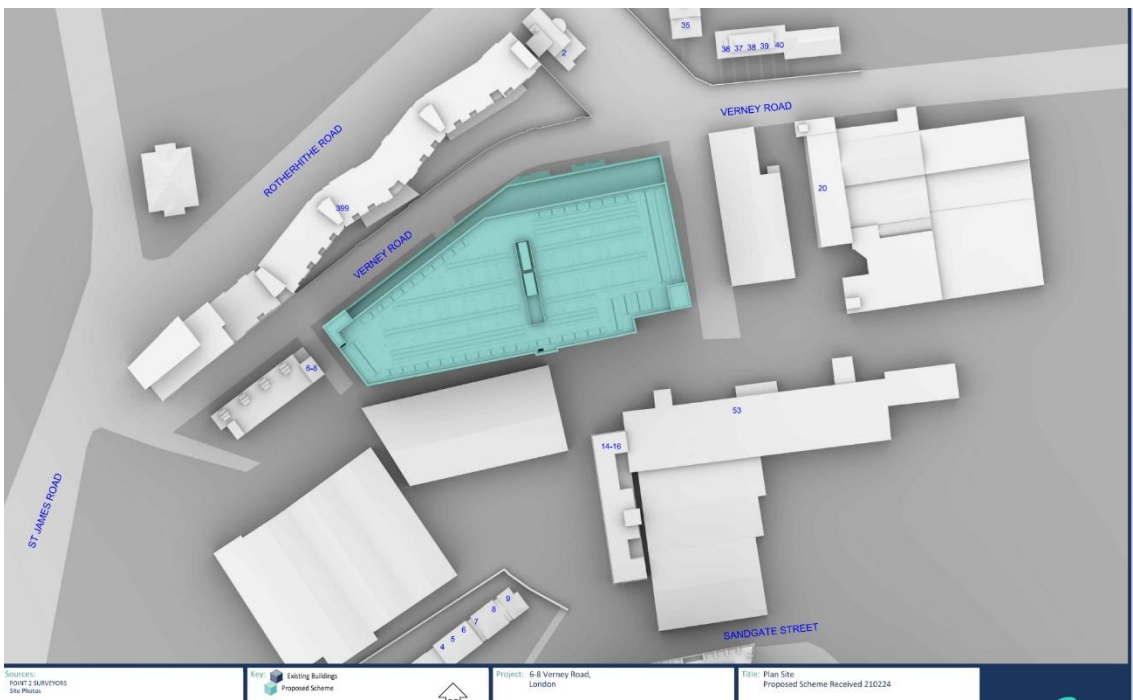
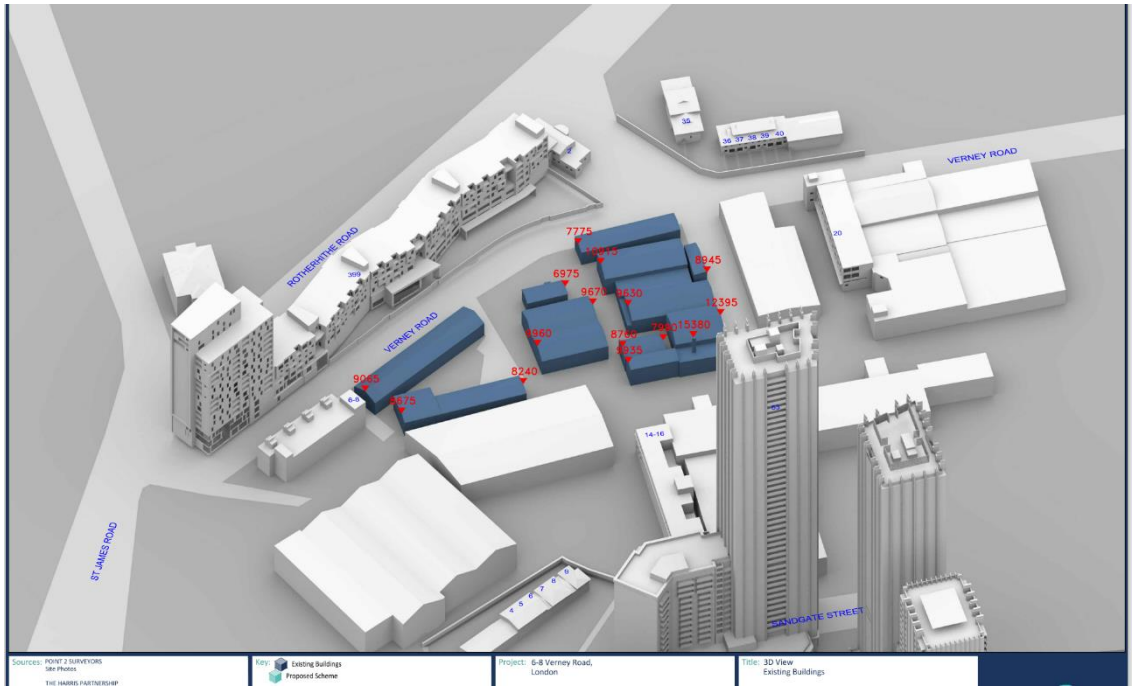
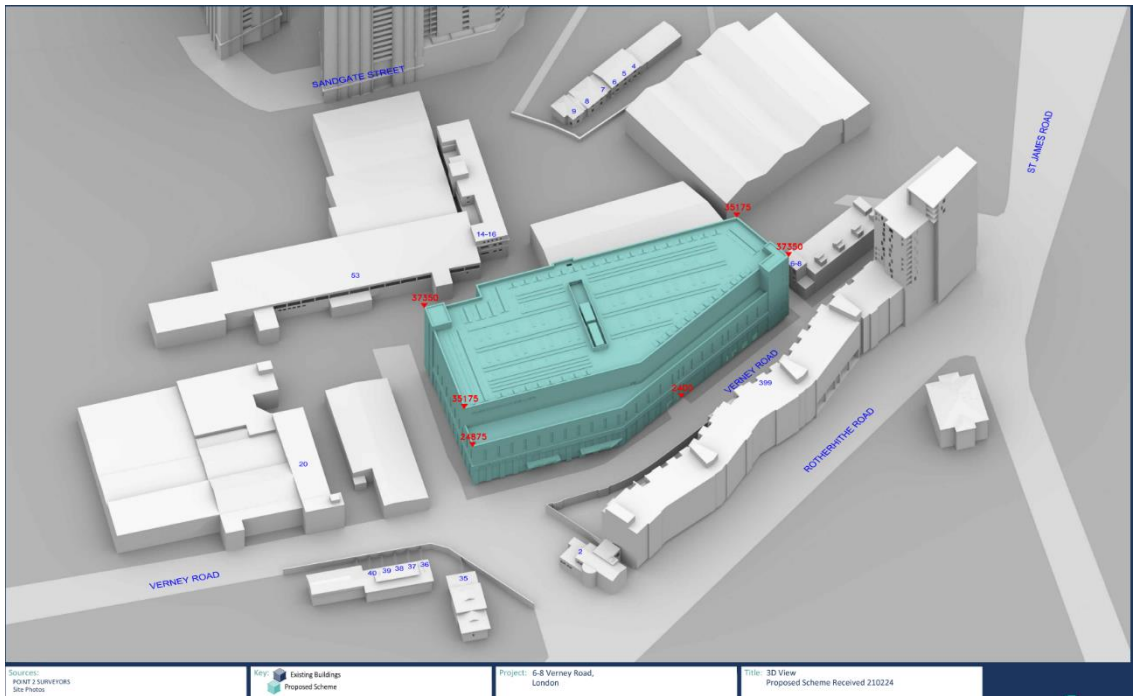
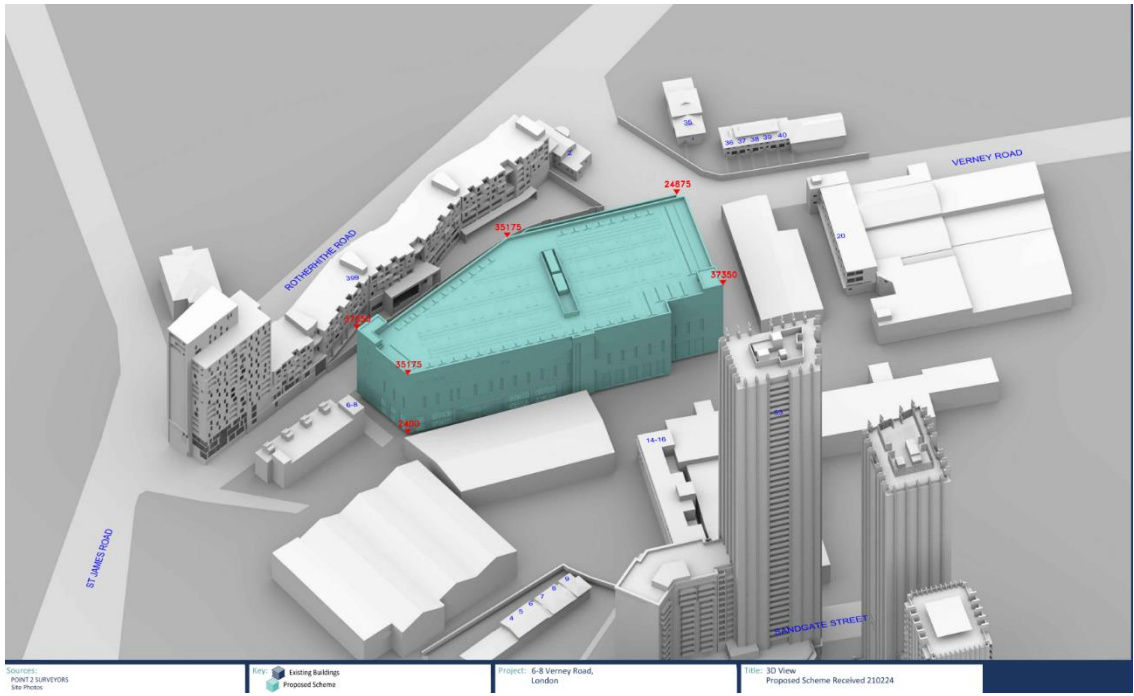


Figure 1: 3D View of Existing Site (site indicated with buildings in dark blue)







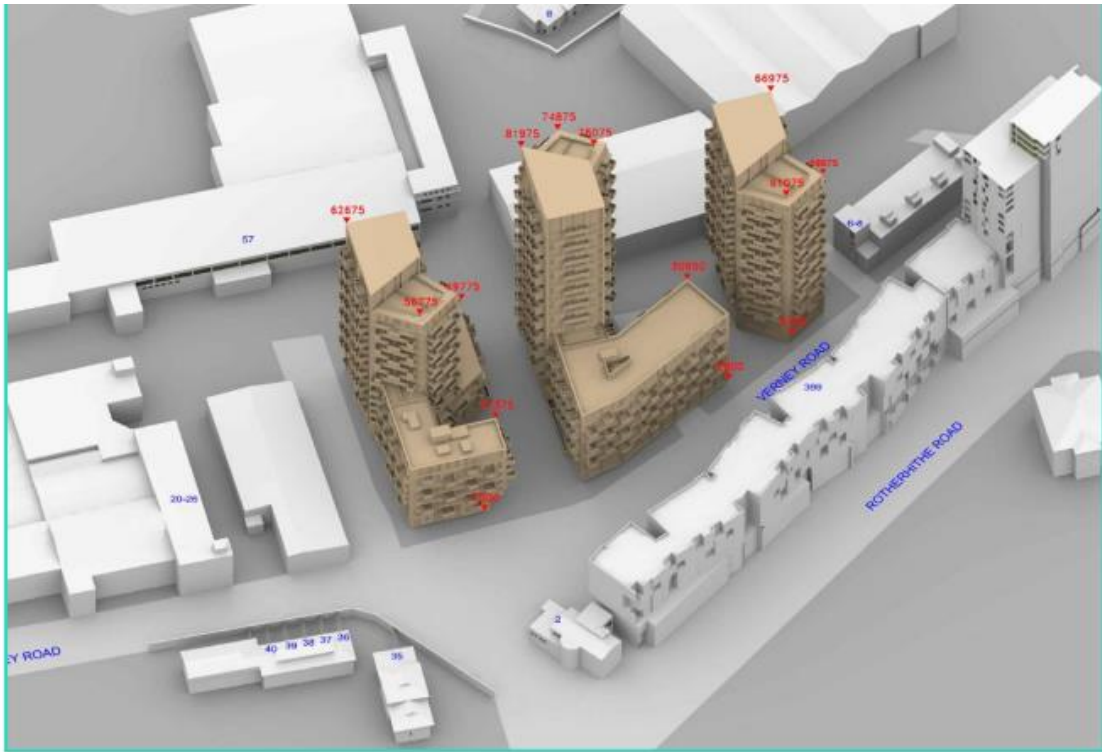


Figure 3: 3D View of Consented Scheme

137. Tables showing Bermondsey Works – BRE Compliance Summary

**School Accommodation:**

Daylight Test	No. of Windows Tested	No. Meet BRE Target	20-29% Relative Reduction	30-39% Relative Reduction	>40% Relative Reduction	No. meeting BRE or retaining in excess of 15% VSC
VSC	55	26 (47%)	4	9	16	46 (84%)

Daylight Test	No. of Rooms Tested	No. Meet BRE Target	20-29% Relative Reduction	30-39% Relative Reduction	>40% Relative Reduction
NSL	26	19 (73%)	3	1	3

Sunlight Test	No. of Rooms Tested	No. Meet BRE Target	20-29% Relative Reduction	30-39% Relative Reduction	>40% Relative Reduction
Total APSH	26	24 (92%)	0	0	2
Winter APSH	26	18 (69%)	0	0	8

138. Tables showing Bermondsey Works – BRE Compliance Summary

**Residential Accommodation:**

Daylight Test	No. of Windows Tested	No. Meet BRE Target	20-29% Relative Reduction	30-39% Relative Reduction	>40% Relative Reduction	No. meeting BRE or retaining in excess of 15% VSC
VSC	385	252 (65%)	41	36	56	341 (89%)

Daylight Test	No. of Rooms Tested	No. Meet BRE Target	20-29% Relative Reduction	30-39% Relative Reduction	>40% Relative Reduction
NSL	250	164 (66%)	15	13	58

Sunlight Test	No. of Rooms Tested	No. Meet BRE Target	20-29% Relative Reduction	30-39% Relative Reduction	>40% Relative Reduction
Total APSH	237	229 (97%)	1	2	5
Winter APSH	237	224 (95%)	0	0	13

139. Tables showing Bermondsey Works – Extant scheme

Daylight Test	No. of Windows Tested	No. Meet BRE Target or retain VSC of 15%	No. retain better VSC or no worse than Consented Scheme	No. do not meet BRE/alternative target or experience reduction beyond Consented Scheme
VSC	440	387 (88%)	29 (416 [95%] meet BRE/ATV/Consent)	24 (5%)

140. The above summary table illustrates where there are any noticeable differences between the VSC results derived from the Submitted Scheme by comparison to the Extant Consent. The majority of the windows tested (95%) will either meet the BRE/alternative target or experience a better retained VSC or no greater reduction beyond the Extant Consent.

141.

Daylight Test	No. of Rooms Tested	No. Meet BRE Target	No. retain better NSL or no worse than Consented Scheme	No. do not meet BRE or experience reduction beyond Consented Scheme
NSL	276	183 (66%)	62 (245 [89%] meet BRE/Consent)	31 (11%)

142. The above summary table illustrates where there are any noticeable differences between the NSL results derived from the Submitted Scheme by comparison to the Extant Consent. A total of 245 rooms (89%) will either meet the BRE guideline recommendations or experience a better retained daylight area (or no worse) than the Extant Consent. There will be 31 rooms that experience a further reduction in NSL, however the difference between the Submitted Scheme and the Extant Consent is between 0.16% and 7.72% (average of 1.4%).

143.

Sunlight Test	No. of Rooms Tested	No. Meet BRE Target	No. retain better APSH or no worse than Consented Scheme	No. do not meet BRE or experience reduction beyond Consented Scheme
<b>Total APSH</b>	263	253 (96%)	9 (262 [99%] meet BRE /Consent)	1
<b>Winter APSH</b>	263	242 (92%)	21 (263 [100%] meet BRE/consent)	0

144. The above summary table illustrates where there are any noticeable differences between the NSL results derived from the Submitted Scheme by comparison to the Extant Consent. A total of 245 rooms (89%) will either meet the BRE guideline recommendations or experience a better retained daylight area (or no worse) than the Extant Consent. There will be 31 rooms that experience a further reduction in NSL, however the difference between the Submitted Scheme and the Extant Consent is between 0.16% and 7.72% (average of 1.4%).

145. Officers have reviewed the submitted documents and accept the reports' conclusion that the daylight and sunlight effects of the Proposed Development should be considered acceptable and accord with the BRE guidelines for development and the relevant development plan policies that seek to encourage beneficial development that does not have an adverse impact on adjoining and neighbouring residential accommodation.

### Overshadowing of amenity spaces

146. The BRE advises that open spaces should receive at least 2 hours of direct sunlight to over 50% of their area on 21 March (Spring Equinox) in order to feel sufficiently sunlight throughout the year. Alterations in direct sunlight beyond 20% are likely to become noticeable.

147.

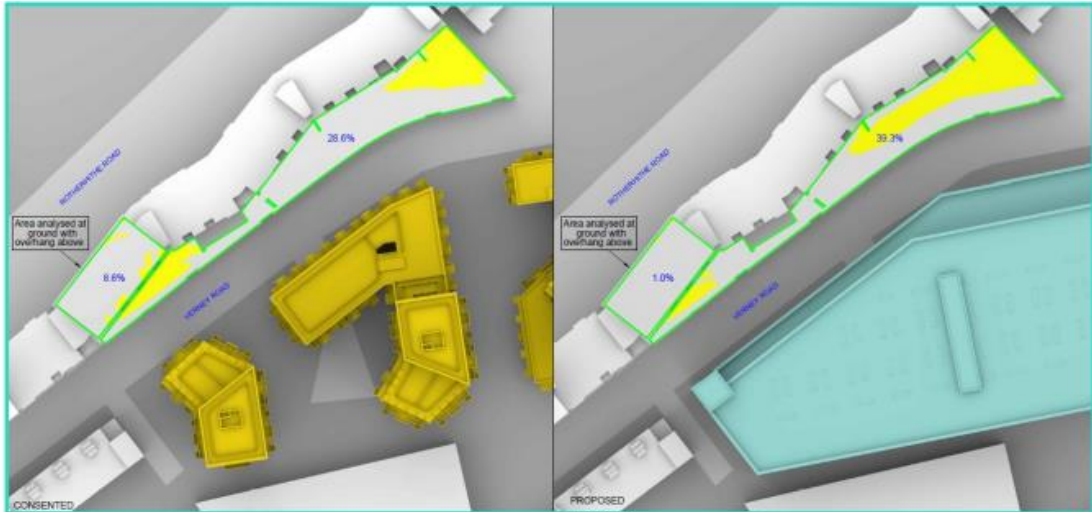


Figure 4: Comparative March 21<sup>st</sup> Sun on Ground analysis

148.

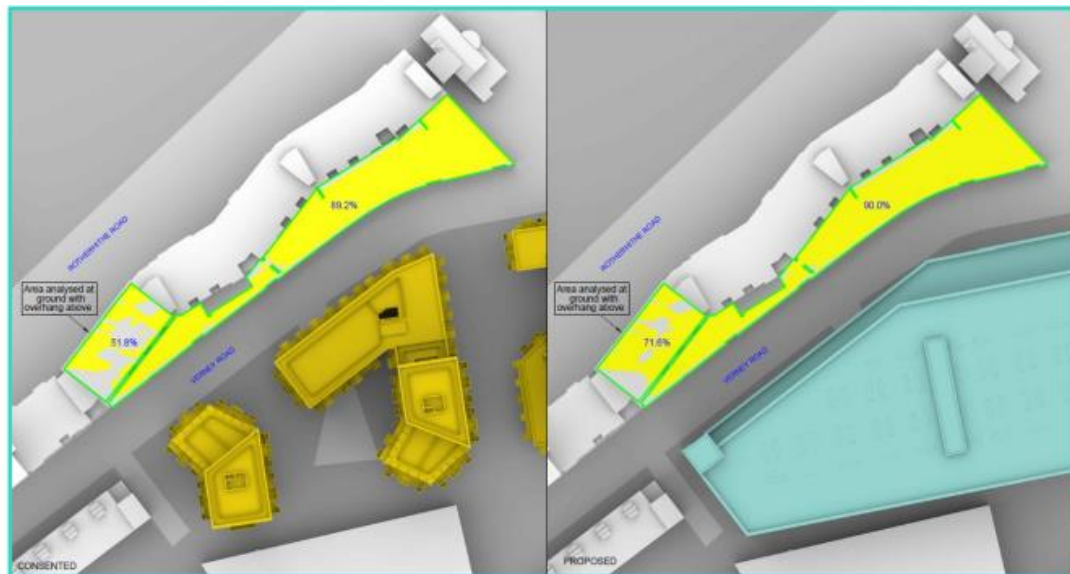


Figure 5 – Comparative June 21<sup>st</sup> Sun on Ground analysis

149. An overshadowing assessment of the school playground areas has also been undertaken in accordance with the BRE two-hour sun on ground test. The analysis indicates that whilst there will be some reductions in the direct sunlight reaching the playground areas on 21 March (Spring Equinox), the main playground space will perform more favourably than the Extant Consent, as illustrated on the comparative images above.
150. The same overshadowing assessment has been undertaken on 21 June, which shows that virtually all of the school playground areas will have access to good sunlight availability, and the Submitted Scheme allows for greater levels of direct sunlight to reach the playground than the Extant Consent. Transient shadow studies were also submitted with the planning application that indicated overall there will be increased periods of direct sunshine on the playground areas by comparison to the Extant Consent.

151. Officers have reviewed the submitted documents and accept the reports' conclusion that the overshadowing effects of the Proposed Development should be considered acceptable and accord with the BRE guidelines for development and the relevant development plan policies that seek to encourage beneficial development that does not have an adverse impact on adjoining and neighbouring residential accommodation and also the use of the neighbouring school playground.

### Noise and vibration

152. EPT officers have reviewed the noise assessment from Sandy Brown Ltd Acoustic, noise and vibration consultants ref 22492-R02-D dated 28 March 2023. The assessment established the baseline noise level that will inform the development phase and noise levels. The key driver for the acoustic design of the scheme is the location of the residential dwellings at 399 Rotherhithe New Road to ensure that they are protected from both noise from industrial operations in the logistics hub and any new building services and plant. Suitable acoustic treatments shall be used to ensure compliance with the above standard. In addition, two conditions are imposed in the decision notice for Background, Rating and Specific Sound levels to be calculated fully in accordance with the methodology of BS4142:2014+A1:2019; and for compliance with the submitted and approved acoustic report. There is also a condition which relates to noise and vibration proposed to cover the construction environmental management plan.

### Agent of change

153. Where new noise- and other nuisance-generating development is proposed close to residential and other sensitive uses, Policy D13 of the London Plan 2021 requires the proposal, as the incoming 'agent of change', to be designed to mitigate and manage any impacts from existing sources on the future users/occupiers. Developments should be designed to ensure that established noise and other nuisance-generating uses remain viable and can grow without unreasonable restrictions placed on them.
154. As previously mentioned in this report, the closest residential receptors are at 399 Rotherhithe New Road, located opposite to the development when construction is completed. The methodology recommended in the noise section of this report above is required to be undertaken when assessing and mitigating any potential impacts on those properties and existing commercial occupiers neighbouring the site.
155. It is therefore considered that the subject scheme will not harm the operation of the existing neighbouring businesses and will mitigate any noise generated through the uses through the design of the scheme and thereby complies with London Plan Policy D13.

## Transport and highways

156. Policy P50 'Highways impacts' of the Southwark Plan 2022 seeks to ensure that developments minimise the demand for private car journeys. In addition, the policy requires developments to demonstrate that the road network has sufficient capacity to support any increase in the number of the journeys by the users of the development, taking into account the cumulative impact of adjoining or nearby development.
157. In assessing this application from a transport perspective, the site is located in an area that the council is considering pedestrian, and cycle changes to enable healthy streets. The proposals will support these plans being delivered by providing a contribution toward the closure of Verney Road between the proposed 6-12 Verney Road vehicle site access, and the current access to the GP surgery at the eastern end of Verney Road close to Verney Way. This will allow for a pedestrian priority area, with no vehicle access, outside of many of the entrances to John Keats Primary School. The outline proposals have been discussed with the school, and we will continue to work closely with them as this scheme develops.
158. Southwark has recently adopted its Streets for People strategy, a people, place and experience approach to transport planning rather than a modal one. This application has been assessed on how it will contribute to this strategy.
159. The Mayors Transport Strategy (MTS) includes three strategic challenges that are of significant importance to assessing this application. Vision Zero, Healthy Streets, and Air Quality.
160. The submitted Transport Assessment (TA) is considered to provide an adequate appraisal of the relevant transport and highway related matters including an assessment of the potential for journeys to be made by sustainable modes of transport as well as detailed estimates of vehicular trips resulting from this development of this use class.
161. Officers have reviewed this application and identified the following areas for detailed comments: Access and Road Safety – The safe movement of all modes entering and exiting the public highway to access the applicant site Trip Generation –The existing and proposed trips related to the site Servicing and Delivery – How the development will manage the vehicular trips required Car Parking - How the development will manage the vehicular trips required Public Transport – Current access and future potential Active Transport – Walking and cycling and behaviour change

## Site layout

162. The proposed future site layout fully utilises the site and keeps it secure, which reflects the land use proposed. The existing public access routes and footways are unaffected by the proposal, and employees and visitors who arrive on foot and bicycle will benefit from direct access to the site from Verney Road. Vehicle access to the site is retained as existing to the north from

Verney Road, with the scheme designed with the potential to swap the access point into the site from the north side onto Verney Road, onto New Verney Road which is a proposed new street within the OKRD AAP Area 13. Once this new street is delivered, which this scheme adequately considers in its southern boundary design, the on-site servicing and delivery yard will become directly accessible from this new street; moving all HGVs, LGVs and Cargo Bikes away from the existing Verney Road including John Keats Primary School. Access for all vehicles, cargo bikes, and employees is gained from the Verney Road access in the interim, with vehicles approaching and leaving the site toward St James Road.

163. Consideration of the Verney Road frontage and how this aligns with the existing public highway will be integral to the success of the S278 Agreement. All works within the extent of the S278 for Southwark will be done in accordance with Southwark Street Design Manual (SSDM) and TfL's Healthy Streets design guidance. A condition requirement for the detailed design of the landscaping and public realm will ensure secure by design and road safety is fully considered, including how the visitor cycle spaces which are proposed within the site's private realm meet with requirements for design and layout.
164. The applicant has agreed to a S106 contribution of £200,000.00 to support the closure of Verney Road to traffic, from a point to the east side of their proposed vehicular site access, extending to the east toward to a point adjacent to the existing GP practice vehicular site access. This ensures that all essential vehicle access can be retained to all sites within the area, whilst creating a new large pedestrian priority area which would be landscaped outside of a number of John Keats School entry and exit gates to/from the playground area, delivering one of the key AAP plan aspirations.

### Trip generation

165. The existing site is an industrial / commercial use with open compound. Since this has been out of use for some time, there is very little traffic arriving at and departing during the AM (7-9) and PM (4-6) peak period. The proposed development is estimated to generate the following daily trips, which are different depending on the potential end-users of the employment space proposed. The likely mix may be somewhere between the two figures provided below:

137 staff arrivals via various modes, with 127 departures of cargo bikes and LGVs during the Expected AM Peak Period 8-9am.

8 staff departures and 127 arrivals of cargo bikes and LGVs during the Expected PM Peak Period of 5-6pm.

It should be noted that there will be an estimated reduction in HGV arrivals during the AM Peak Period of -3 and also an expected reduction in HGV arrivals.

### Servicing and deliveries

166. It has been agreed with the applicant that an Operational Management Plan is more suitable for this specific site, and as such this will be the approach to cover all elements of Servicing, Deliveries, and general operation of the site.
167. To ensure that on-street servicing and deliveries do not negatively impact on the highway network, the Council is recommending that applicants in the Old Kent Road Opportunity Area enter into Delivery & Servicing Plan Bond against their baseline figures for all daily servicing and delivery trips. This contribution will be secured through the S106 Agreement.
168. The use proposed in the development will be subject to a condition of a Travel Plan. Marketing and promotional material for this site will ensure that future occupiers are aware of how the development has been designed to discourage private cars and encourage sustainable working and visiting.

### Car parking

169. Car parking within the site is limited to operational parking and to one blue badge parking space for employees with a blue badge. Operational parking includes the following:
- 4 Van / LGV spaces;
  - 5 Van loading docks;
  - 4 HGV loading docks;
  - Cargo Bicycle loading can be facilitated within this service yard in the LGV bays, or within individual units themselves on the upper floors, accessed via Cargo Bike lifts.
170. Parking facilities in the area around the site are limited due to controlled parking regulations, School 'Zig-Zag' markings, and the need to keep Verney Road open and accessible for vehicles of all sizes. The site will be located within one of the extended London Borough of Southwark's Controlled Parking Zones where regulations are likely to apply from Monday to Friday from 08:00 to 18:30. Other than the aforementioned parking, the site itself will be car-parking free and this will be secured in the s106.
171. A S106 obligation that prevents future tenants of the proposed development from obtaining resident or business parking permits for any existing or proposed CPZs has been agreed.

### Public Transport

172. The site has a number of bus stops nearby, including those on Rotherhithe New Road which serve the 381 / N381, and bus stops on the Old Kent Road which provide frequent services to numerous destinations in LB Southwark, LB Lewisham and others.



## Active transport

### Walking and public realm

173. The application provides for a closure of a part of Verney Road that is not required for the vehicular network to work within this area, creating a new pedestrian focused space outside of John Keats Primary School, which is part funded by the aforementioned developer S106 contribution.

### Cycle parking and cycling facilities

174. Cycleway 10 can be found approximately 500m to the north of the cycle store entrance on Verney Road. The route runs from Deptford to Southbank. The site is also in close proximity to Cycleway 35 which is located to the west and connects cyclists to Peckham Town Centre.
175. Cycle Parking has been secured for both long-stay staff working at the site, and short-stay for visitors to the site.
176. A total of 142 spaces are provided securely, with direct access from the service yard area and vehicle access from Verney Way, whilst also providing access into the various units / floors within the building itself. These spaces are designed to LCDS, London Plan and Southwark Plan requirements.
177. Visitor cycle parking is provided on the Verney Road frontage which is fully publicly accessible, in an area to the east of the building line along Verney Way, accessed from Verney Road, and also within the service yard area.

178.

Land Use	GEA (sqm)	London Plan Standards		Provision	
		Long stay	Short stay	Long stay	Short stay
E(g) (Office)	531	1 space per 75sqm (GEA)	1 space per 500sqm (GEA)	7	1
B2/B8 (General Industrial, Storage or Distribution)	23,555 (NI service yard)	1 space per 500sqm (GEA)	1 space per 1,000sqm (GEA)	135	25

### Construction

179. A Draft Construction Logistics Plan has been prepared as a standalone document submitted along with this application. The S106 Agreement would secure detailed Demolition Environmental Management Plan (DEMP) and a Construction and Environmental Management Plan (CEMP). This is to enable the Council to manage cumulative impacts on the highways and environment.

## Conclusion on Transport

180. The proposal is supported as it is designed as a last-mile logistics hub that can support the operation of zero-emission delivery fleets such as electric motorised vehicles and cargo bicycles and supports an intensification of use of an employment site within a suitable location, with limited impacts over and above the permitted use of the site.
181. The applicant will be making contributions toward improving the local sustainable transport network to provide more space for pedestrians outside of John Keats Primary School, and to divert traffic away from this area which is subject to congestion at school start / end times at present. This will support Streets for People and Southwark Plan objectives. It can help to reduce car dependency which will contribute to the efforts against climate change and to the delivery of some of the Movement Plans 9 missions. In particular, these include Vision Zero and Healthy Streets, and allows for the emerging plans for the surrounding public highway to be facilitated subject to the adherence to the S106 obligations and planning conditions mentioned in this section of the report.

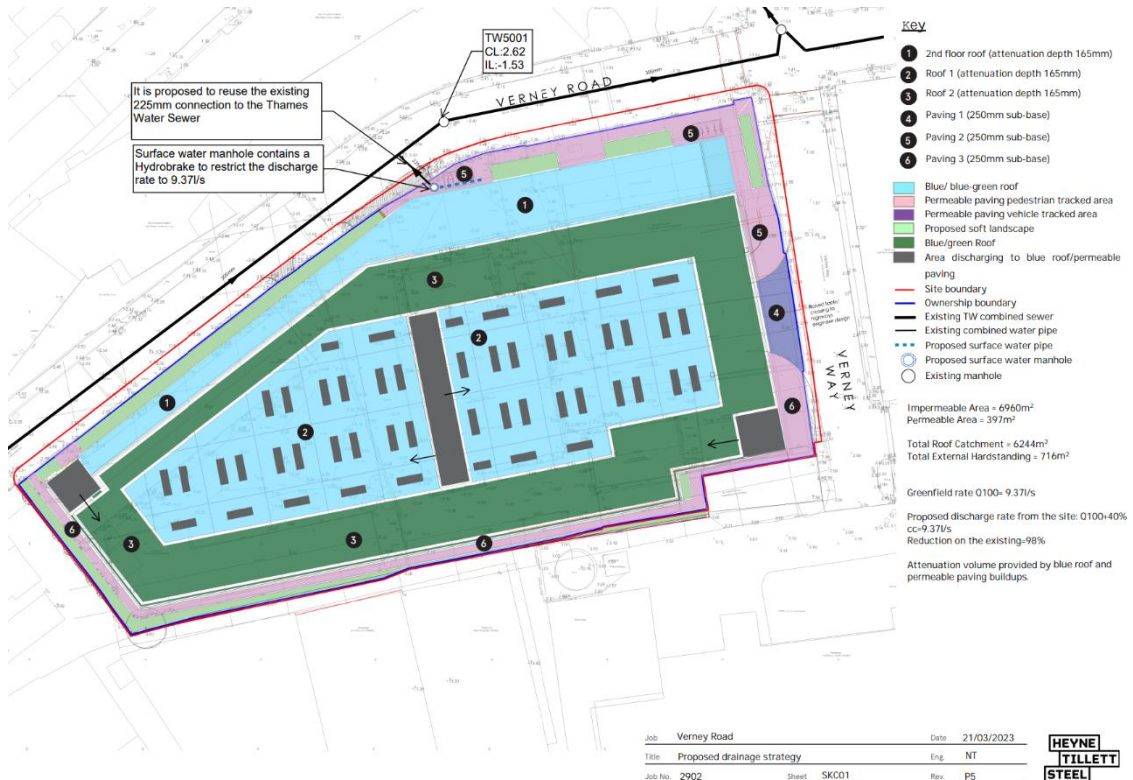
## **Environmental matters**

### Water resources

182. Policy P68 (Reducing flood risk) of the Southwark Plan states that development must be designed to be safe and resilient to flooding and finished floor levels are set no lower than 300mm above the predicted maximum water level where they are located within an area at risk of flooding. Additionally, major development is required to reduce surface water run-off to green field run-off rates, and this must be through the application of water sensitive urban design and SuDS.
183. The application site is located within Flood Zone 3 of the River Thames, which is tidally influenced at this location, although in an area shown to be benefiting from existing flood defences. Flood Zone 3 is classified as comprising land assessed as having a 1 in 1000 (0.1%) chance in any year. The Environment Agency's (EA) most recent flood modelling (December 2017) shows that the site is not at risk if there were to be a breach in the defences. The EA considers that the application development will be at low risk of flooding as it relates to tidal and/or fluvial flood risks. The EA recommend that flood resistant and resilient measures are incorporated into the design and construction of the development proposals.
184. The submitted FRA proposes a number of mitigation measures, including the use of blue and green roofs, flood resistant materials and designs and specific groundwater measures. These mitigation measures have been factored into the design considerations of the scheme. The Council's Flood Risk Officer raised no objections to the information provided within the final FRA and recommends the imposition of conditions (Maintenance of SUDs; further details of the drainage strategy and a drainage verification report).

## Sustainable urban drainage

- 185.
- Blue roofs of approximately 5111sqm.
  - Permeable paving to the external areas 716sqm.



186. The scheme is considered to be acceptable subject to conditions for a detailed drainage strategy (pre-commencement) and a drainage strategy verification (pre-occupation).

## Land contamination

187. Environmental Protection Team (EPT) officers have reviewed the Ground Investigation report dated March 2023 as prepared by Soiltechnics. The Report identifies that the site has historically been occupied by industry including a pottery works, hair & felt works, boat repairing yard and incinerator engineering works. Several above ground and below ground tanks have been present historically however none are noted on site in the present day. A historical landfill, associated with the infilled Surrey Canal, is located just beyond the southern boundary of the Site. The report recommends that based on the depth of Made Ground beneath the Site and proposed loadings associated with the new building then a piled foundation and/or ground improvement will be required to support the building structure and floor slabs. It further recommends that on the basis of the deep made ground that the use of traditional soakaways or deep-bored soakaways for the disposal of surface water is not

recommended and consideration should be given to other drainage solutions.

188. The report states that potential risks from contamination to human health have been identified however, most of the Site is to be covered in hardstanding which will effectively break the source/pathway/receptor linkage. Very limited areas of soft landscaping areas are shown as part of the development and remedial measures will be required in these areas, potentially in the form of a clean imported cover system. Following cessation of potential sources of contamination on site, and as the Site will be covered in hardstanding (limiting infiltration potential) the risk to controlled waters from residual ground conditions is considered to be low. A watching brief is recommended during demolition works and appropriate removal/decommissioning of any tanks/interceptors/pipework and any associated significant contamination (if/where encountered). Elevated ground gases (methane) have been recorded and a designation of CS-2 has been assigned to the Site. Ground gas protection measures are recommended in new buildings. Further monitoring may enable refinement of this assessment.
189. The report concludes that a detailed Remediation Strategy (to inform future contractors of specification of remedial requirements) and subsequent Verification Report will be required. In the absence of further monitoring or refinement of the gas risk assessment, a detailed Gas Protection Design report and subsequent verification of the installation of gas protection measures will be required. A Discovery Strategy to deal with unexpected contamination (particularly associated with the underground petrol tank identified on historical mapping between 1950-1970 only) will be required during the development works. A detailed UXO desk study to support the whole construction phase is recommended. A Materials Management Plan to facilitate the reuse of Made Ground materials on site (if required) is recommended.
190. The council's EPT accepts the Report's findings and suggested mitigations and recommends the imposition of a suitable condition for the remediation for the site.

### Air quality

191. The subject site is located within the Southwark Air Quality Management Area which is designated for the potential exceedance of the annual mean nitrogen dioxide (NO<sub>2</sub>) and daily mean PM<sub>10</sub> air quality objectives. Southwark Plan Policy P65 'Improving air quality', states that development should address the impacts of poor air quality on building occupiers and public realm users by reducing exposure to and mitigating the effects of poor air quality. An Air Quality Assessment (AQA) has been submitted with the application, which considers the air quality impacts arising from the construction and operational use of the development, taking into account all relevant local and national guidance and regulations.
192. The AQA advises that with regards to sensitive receptors, locations where people or wildlife may be adversely affected by changes in air quality or dust soiling are considered as relevant receptors for air quality. Receptors introduced by the proposed development are also relevant. There are a number

of residential/schools receptors in the vicinity which could be affected by changes in air quality arising from construction and demolition activities associated with the development. Commercial and industrial premises in the area will also be sensitive to dust. No ecological receptors have been identified within 50m of the development site have therefore been scoped out of the assessment.

193. The AQA concludes that the magnitude of change for annual mean NO<sub>2</sub>, PM<sub>10</sub> and PM<sub>25</sub> concentrations at all receptors is predicted to be negligible and therefore the overall effect is not significant. AQOs are currently being met at the development site and are expected to continue to be met. Based on the findings of the report EPT officers will not recommend any mitigation methods for the premises and its uses. However, the air quality control will be managed during the construction phase by implementing an effective environmental construction management plan.

### Wind and microclimate

194. A microclimate is the distinctive climate of a small-scale area and the variables within it, such as temperature, rainfall, wind or humidity may be subtly different to the conditions prevailing over the area as a whole. The main characteristics of microclimates within London are temperatures and wind. As the development is a single building mass, the scheme is not of a scale that could potentially have any significant impact on wind conditions around the site or any adverse effects on pedestrian and residents' comfort.

### **Energy and sustainability**

195. Policy SI2 of the London Plan requires major developments to provide an assessment of their energy demands and to demonstrate that they have taken steps to apply the Mayor's energy hierarchy. Policy SI3 require consideration of decentralised energy networks, Policy SI4 deals with managing heat risk and Policy SI5 is concerned with protecting and conserving water resources and associated infrastructure.
196. Policy P70 of the Southwark Plan sets out the borough approach to ensuring that new developments tackle climate change. The approach is generally consistent with London Plan Policies but also requires new commercial developments to meet BREEAM 'Excellent'. The policy also states that non-residential developments must reduce carbon emissions by at least 40% on 2013 Building Regulations. Southwark Council's carbon offset cost is £95 for every tonne of carbon dioxide emitted per year over a period of 30 years. This is the equivalent of £2,850 per tonne of annual residual carbon dioxide emissions.
197. An Energy Assessment and Sustainability Strategy based on the Mayor's hierarchy has been submitted by the applicant. This details how the targets for carbon dioxide emissions reduction are to be met. A combination of 'Be Lean' 'Be Clean' and 'Be Green' measures have been employed in an attempt to achieve the reduction in line with the GLA guidance on preparing energy statements, P70 of the Southwark Plan 2022, and the Southwark Sustainable

Design and Construction SPD.

### Carbon emission reduction

198. The application proposal would provide a cumulative on-site saving of 64% which would exceed the development Plan's minimum 35% carbon reduction requirement. To ensure that the 'Net Zero Carbon' target is achieved a cash-in lieu payment of £84,918 is required to offset the cumulative surplus 894 tCO<sub>2</sub>. The carbon offset payment has been calculated based on the £95/tonne figure.

### Be Lean (use less energy)

199. The development achieves a 64% reduction in overall carbon emissions over Part L 2021, through passive design and energy efficiency measures alone. The reduction will be achieved by a combination of measures, which include; significantly improved fabric 'U' values, improved air tightness, minimising cold bridging, and incorporation of an Electric Heat Pump system (Hybrid Variable Refrigerant Flow – HVRF) with heat recovery system to efficiently supply heating and cooling, Domestic Hot Water (DHW) heat pump and LED lighting with appropriate daylight dimming controls and motion sensing controls to all areas. The lighting will be designed to ensure that a level of efficiency of 110 lamp lumens per circuit-Watt is achieved.

### Be Clean (supply energy efficiently)

200. The subject site is located near an existing/proposed heating network according to the London heat map network. Further investigation will need to be undertaken to establish if the scheme can connect to any of networks, including the proposed District Heating Network (DHN). In the event that a DHN heat supply connection can be obtained initial predictions are that a considerable reduction in carbon emissions will be achieved.
201. The site therefore proposes to provide spatial provision and plant for its own local building only heat network in accordance with the proposed strategy. In the event that the development is able to access a heat connection from new/existing routes, the site proposes to install a manhole outside the plantroom for future district heating pipework, which will be capped off and install the district heating infrastructure from this point into the new plantroom where the heat plate exchanger will be located. The plantroom will allow for suitable space for the required equipment that complies with relevant Guidelines documents for connecting to heat networks.

### Be Green (Use low or carbon zero energy)

202. Electric heat pump systems and a heat recovery system are proposed to be used within the building and LED lighting with appropriate daylight dimming controls and motion sensors to all areas of the building. All available roof space is to be utilised for solar photovoltaics.

203. Taking into consideration the measures assessed in this section of the report, the development exceeds the minimum 35% improvement over Part L Building Regulations, achieving on site reductions of 64%.

### Be Seen (Monitor and review)

#### Whole life cycle and carbon capture

204. London Plan Policy SI 2 (Minimising greenhouse gas emissions) part F states that *“Development proposals referable to the Mayor should calculate whole life-cycle carbon emissions through a nationally recognised Whole Life-Cycle Carbon Assessment and demonstrate actions taken to reduce life-cycle carbon emissions”*. A whole life-cycle carbon emissions assessment has been provided to support the application.

#### Circular economy

205. London Plan Policy SI 7 (Reducing waste and supporting the circular economy) part B states that *“Referable applications should promote circular economy outcomes and aim to be net zero-waste. A Circular Economy Statement should be submitted, to demonstrate....”* A whole circular economy statement has been provided to support the application.

### **Overheating**

206. London Plan Policy SI4 and Policy P69 of the Southwark Plan set out the cooling hierarchy that should be followed when developing a cooling strategy for new buildings. The six-step hierarchy is as follows:
- Minimise internal heat generation through energy efficient design; then
  - Reduce the amount of heat entering the building through the orientation, shading, albedo, fenestration, insulation and green roofs and walls; then
  - Manage the heat within the building through exposed internal thermal mass and high ceilings; then
  - Use passive ventilation; then
  - Use mechanical ventilation; then
  - Use active cooling systems (ensuring they are the lowest carbon options).
207. The facade has been designed to respond to environmental factors like sunlight and prevailing winds. The fabric first approach would be further enhanced by the use of low-carbon HVRF Heat Pumps with heat recovery, electric DHW heat pumps, LED lighting with appropriate controls and PIR sensors, all available roof space utilised solar photovoltaic arrays and a carbon offset payment to ensure the Net 'Zero Carbon' target is achieved in accordance with the London Plan Policy SI 2.

## BREEAM

208. Southwark Plan Policy P69 requires developments to achieve a BREEAM rating of 'Excellent' for non-residential development and non-self-contained residential development over 500sqm. A preliminary BREEAM assessment for the Proposed Development was undertaken. The BREEAM methodology assesses development based on credits for a set of performance criteria covering issues such as energy, water, materials, waste, pollution, health and well-being, management, and ecology. The pre-assessment results demonstrate that the development is being designed to achieve a BREEAM New Construction rating of 'Excellent', in accordance with Policy P69 of the Southwark Plan.

## **Water efficiency**

209. The design of the development will aim to minimise internal potable water consumption; maximise water efficiency and recycling a number of measures to be incorporated by the incoming tenants for the proposed development. This will be achieved through the specification of low-flow sanitary fittings such as low or dual flush toilets, low flow taps and showers and water efficient white goods. Furthermore, a water meter with a pulsed output will be installed on the mains supply to all buildings to ensure water consumption can be monitored and managed and therefore encourage reductions in water consumption. A leak detection system will also be integrated into the water metering, employing trend analysis with an audible signal when a leak is detected, to reduce the impact of water leaks that would otherwise go undetected. Lastly, an automated irrigation system will provide optimum watering for the roof planting system, with minimum water wastage. Grey water would also be utilised in the irrigation system. Providing these water efficiency measure enables the development to comply with Policy SI5 of the London Plan 2021.

## **Digital connectivity infrastructure**

210. The NPPF recognises the need to support high-quality communications infrastructure for sustainable economic growth and to enhance the provision of local community facilities and services. To ensure London's long-term global competitiveness, Policy SI6 (Digital Connectivity Infrastructure) of the London Plan 2021 requires development proposals to:
- be equipped with sufficient ducting space for full fibre connectivity infrastructure;
  - achieve internet speeds of 1GB/s for all end users, through full fibre connectivity or an equivalent.
  - meet expected demand for mobile connectivity; and
  - avoid reducing mobile capacity in the local area.
211. A pre-commencement condition has been attached to this decision to ensure compliance with the aims and objectives of Policy SI6 in assisting London's long-term global competitiveness.



## Planning obligations (S.106 agreement)

212. Southwark Plan Implementation Policy IP3 and Policy DF1 of the London Plan advise that planning obligations can be secured to overcome the negative impacts of a generally acceptable proposal. IP3 of the Southwark Plan Aims to ensure that any potential adverse impact that makes a proposed development unacceptable will be offset is mitigated by using planning conditions in the first instance. Additionally, and where they meet the required tests, Section 106 legal agreements that either a) mitigates the impact or b) pay the council a financial contribution to enable the council to/ will be used to mitigate the impact. The NPPF which echoes the Community Infrastructure Levy Regulation 122 which requires obligations be:

- Necessary to make the development acceptable in planning terms;
- Directly related to the development; and
- Fairly and reasonably related in scale and kind to the development

213. The application would be supported by the following Section 106 obligations:

**Table: Section 106 Financial Obligations**

<b>Planning obligation</b>	<b>Mitigation</b>	<b>Applicant's position</b>
<b>Local Economy and Workspace</b>		
Employment and Training	Numbers to be agreed within a bespoke strategy due to innovative logistics hub use and multi-use. Payments required if targets not met.	Agreed
Employment	Affordable Workspace: Financial contribution to be made in-lieu 10% provision.	Figure to be Agreed
<b>Transport and Highways</b>		
s278 Highway works	Repave the footway fronting the site including new kerbing on Verney Road in accordance to Southwark Streetscape Design Manual (SSDM) - precast concrete slabs and 150mm wide granite kerbs. <ul style="list-style-type: none"> <li>• Construct the proposed vehicle crossover in accordance to SSDM.</li> <li>• Reinstate redundant vehicle crossover as footway.</li> <li>• Resurface Verney Road carriageway fronting the development.</li> <li>• Undertake modifications to the current refuge island on Rotherhithe New Road</li> <li>• Upgrade the speed hump fronting the development on Verney Road to a</li> </ul>	Agreed

	<p>raised table.</p> <ul style="list-style-type: none"> <li>• Upgrade street lighting fronting the development.</li> <li>• Apply for a TMO to amend waiting/loading restrictions and where obtained undertake works to include road markings and signage.</li> <li>• Rectify any damaged footways, kerbs, inspection covers and street furniture due to the construction of the development and the movement of construction vehicles.</li> </ul>	
A contribution towards improvements to the local cycle and pedestrian links and strategic cycle network (GLA) to and from the Site.		Agreed in principle
Contribution towards future two-way highways layout.	<p>£200k contribution toward the closure of the eastern end of Verney Road with urban realm scheme to be designed by LBS in co-ordination with BL and John Keats Primary School, between the proposed 6-12 Verney Road site access and the site access for the GP surgery on the corner of Verney Road / Verney Way. See indicative drawing: 332410749-3001- 145-P03.</p> <ul style="list-style-type: none"> <li>• The design work for this scheme can begin once the £200k S106 contribution is agreed, and paid, to LBS.</li> <li>• Any additional monies required to complete the project will be funded by LBS from previous and future schemes within vicinity of the site.</li> <li>• Modifications to the current refuge island on Rotherhithe New Road are only required to facilitate the two-way option, so therefore are accounted for in the contribution.</li> </ul>	Agreed
Legible London signage system to support active travel	Financial contribution of £22,000 to provide for two new signs adjacent/near to the site and local existing sign map refresh. Contribution requested within the GLA Stage 1 report.	Agreed
<b>Energy, Sustainability and the Environment</b>		

Achieving net carbon zero	an off-set payment of £84,918.00.	Agreed
Archaeology monitoring/supervision fund	Contribution towards cost of providing technical archaeological support (£11,171.00 for schemes for 10,000sqm and more of development)	Agreed
Trees	A total of £16,000 for off-site planting if the tree planting strategy is not delivered	
<b>Admin</b>		
Legal Fees		Subject to such fees being reasonable and proper in the course of negotiating the agreement in accordance with the agreed heads of terms.
Administration fee	Maximum contribution to cover the costs of monitoring these necessary planning obligations, calculated as 2% of total sum	Agreed

214. In addition to the financial contributions set out above, the following other provisions would be secured:

- Marketing, allocation and fit out of the commercial units
- Servicing bay/Site management plan
- London Living Wage – best endeavours to being offered to all staff employed in the commercial units as well as workers during the construction period;
- Futureproofing for connection to District Heat Network (DHN): Prior to occupation, a CHP Energy Strategy must be approved setting out how the development will be designed and built so that it will be capable of connecting to the District CHP in the future
- Final Demolition and Construction Environment Management Plans;
- Agreed carbon target
- Be Seen performance
- Parking permit restriction
- Highways condition survey
- Tree Strategy
- Interim site boundary treatments to allow for public realm improvements for new Verney Road/Way
- Travel Plan compliance and monitoring
- Energy Strategy
- Appointment of workspace co-ordinator;
- Workspace Specification (including full M&E fit out);
- Triggers securing Practical Completion of workspace;

215. The S106 heads of terms agreed would satisfactorily mitigate against the adverse impacts of the proposed development.
216. In the event that a satisfactory legal agreement has not been entered into by 7 April 2025, it is recommended that the director of planning and growth refuses planning permission, if appropriate, for the following reason:

“The proposal, by failing to provide for appropriate planning obligations secured through the completion of a S106 agreement, fails to ensure adequate provision of affordable workspace and mitigation against the adverse impacts of the development through projects or contributions in accordance with Policy IP3 ‘Community infrastructure levy (CIL) and Section 106 planning obligations’ of the Southwark Plan (2022), and London Plan (2021) policy DF1 ‘Delivery of the Plan and Planning Obligations’, as well as guidance in the Council's Section 106 Planning Obligations and Community Infrastructure Levy SPD (2015)”.

217. An S278 agreement will need to be undertaken with Southwark Highways for works to the highway, and traffic management changes. S278 Works Outline: repave footway; reinstate redundant vehicle crossovers; upgrade street lighting; repair any damage to highway due to construction activities; resurface/reconstruct Verney Road carriageway along the length of the site; pre-commencement highways conditions survey.

### **Mayoral and borough community infrastructure levy (CIL)**

218. Section 143 of the Localism Act states that any financial contribution received as community infrastructure levy (CIL) is a material ‘local financial consideration’ in planning decisions. The requirement for payment of the Mayoral or Southwark CIL is therefore a material consideration. However, the weight attached is determined by the decision maker. The Mayoral CIL is required to contribute towards strategic transport invests in London as a whole, primarily Crossrail. Southwark’s CIL will provide for infrastructure that supports growth in Southwark. In this instance, based on information provided by the applicant, an estimated Mayoral CIL payment of £1,391,199.92 and a Southwark CIL payment of £NIL would be due. This figure is an estimate only, and would be calculated in more detail when CIL Additional Information and Assumption of Liability forms are submitted prior to implementation.

### **Other matters**

219. None

### **Community involvement and engagement**

220. The applicant’s Statement of Community Involvement sets out the details of the pre-application engagement undertaken in support of the planning application. It also provides an overview of the engagement context and approach, as well as details of comments received and the applicant’s response. The approach of the SCI to pre-submission engagement was informed by industry best practice

and Southwark Council guidance including the Statement of Community Involvement and the Development Consultation Charter. In December 2022, an Early Engagement Strategy was submitted to Southwark Council which set out the site research and context analysis, meetings, events, and public consultation methods; and ways to feedback responses during the engagement. The subsequent formally submitted SCI set out summaries of the facts based audit (stakeholder analysis and site context); the applicant's social value statement covering social, environmental, economic impacts and long-term wellbeing and resilience; a summary of the engagement activities (elected members; community groups; public consultation with in-person and online events. The SCI sets out a summary of the comments from the stakeholders and the applicant's responses.

221. The approach of the applicant's submitted SCI is considered to be acceptable and would meet the Council's guidelines for pre-application community involvement and engagement.

### **Consultation responses from members of the public and local groups**

222. This application was subject to two rounds of formal consultation. The first round was for the original scheme (May 2023). A second round was undertaken following the submission of the minor amended plans (March 2024).
223. At the time of writing, a total of 20 consultation responses had been received from members of the public. Given that there were two rounds of consultation, most of these are from the same occupiers. There have been 15 objections and 2 in support of the proposed development and 3 neutral.
224. **Objections**  
The main issues raised by residents objecting to the proposed development are set out below:
- Object to land use going back to industrial form residential and the potential for increased traffic particularly from HGVs, increased noise and air pollution and risk to school children from traffic and pollution, given the proximity of the school. Congestion at school opening and closing times. Harm to children's education. The area would be best turned into a park. The design is worse than the approved scheme. The impact on the saleability of flats.
225. **Officer comments:** The issues of highway safety, traffic generation, air quality, noise, impact on the amenities of neighbouring residents and the use of the school and its playground, the extant permission, the principle of commercial development on a site with residential led mixed-use are all dealt with in the main report under the relevant sections. The Draft OKRAAP includes a masterplan objective to deliver an open space within the sub-area OKR3 and to close the road outside the school, the application will provide a financial contribution to ensure its delivery. Officers have discussed this approach with

the Head Teacher of John Keats school who has been supportive of the proposal to close the road outside the school entrance. Issues of the saleability of local flats and the loss of a view are not relevant planning matters in assessing the merits of the subject planning application.

226. **Neutral:** Whilst overall supportive a local business located on Verney Way has asked for further engagement with the developer to ensure that their business is not adversely impacted both during the construction phase and in operation. here.
227. **Officer Comment:** the application has been amended to remove the vehicular access from Verney Way and is now directly from Verney Road, albeit here remains a masterplan objective to gain vehicular access from Verney Way at a later date with the master planning of the adjoining sites.
228. **Support:** the development would make good use of the land by having a logistics hub there which could serve the surrounding areas. It appears the plan has been well thought out to reduce any negative impact to the local community as much as possible. I like that it will provide jobs for local people; I agree with this development in Verney Road. I support the use.
229. **Officer comment:** Noted.
230. Details of consultation and re-consultation undertaken in respect of this application are set out in Appendix 4. Details of consultation responses received are set out in Appendix 5.

### **Consultation responses from external and statutory consultees**

231. **Environment Agency (EA) comments:**  
The EA has advised that it has no objection to the proposed development subject to the inclusion of conditions to cover groundwater and contaminated land; sustainable drainage and piling. On the advice of the EA, recommendations attached to this decision should also include informatives relating to flood resistance and resilience.
232. **Greater London Authority (GLA) stage 1:**  
**Strategic issues summary**
233. **Land use principles:** The proposed industrial intensification on this LSIS is strongly supported in land use terms, in line with London Plan Policies E3, E4, E6, E7 and SD1 and Good Growth Objectives GG2 and GG5.
234. **Urban design and heritage:** Broadly supported (though further consideration of an additional setback on the two upper floors and some subtle alteration of panel colours and texture is recommended) and the proposal complies with Policy D9B and may accord with the qualitative assessment criteria set out at Policy D9C; and no harm would be caused to any nearby heritage assets or composition of protected views.
235. **Transport:** A travel plan, delivery and servicing plan, construction logistics plan

and construction management plan should all be secured by way of condition or Section 106 agreement; and, improvements to the local cycle and pedestrian links and strategic cycle network will be sought via Section 106 and/or Section 278 obligations as well as a financial contribution towards Legible London.

236. Other issues on **Sustainable development** and **Environmental issues** require additional information and/or planning conditions or obligations are required on the energy strategy, WLC assessment, FRA and circular economy statement including post-construction monitoring, a carbon off-set contribution and a Flood Warning and Evacuation Plan prior to the Mayor's decision making stage.
237. The outstanding matters as identified at Stage 1 have been subsequently agreed and suitable planning conditions and planning obligations have been added by officers to the permission and s106 to mitigate the scheme and ensure London Plan compliance.
238. **Thames Water (TW):**  
In regards, to the matters of waste and water, TW has no objections to the principle of the application subject to the imposition of suitable conditions and informatives. Due to the site being within 15 metres of a strategic sewer TW requires the submission of a piling method statement; measures required to minimise groundwater discharges into the public sewer; petrol/oil interceptors to be fitted in all car parking/washing/repair facilities; in regards to surface water drainage to require the sequential approach to the disposal of surface water and to follow its guidance; the minimum water pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves TW pipes; and guidance how to work within 15m of TW underground assets.
239. These matters have been accepted by officers and the requested condition and informatives have been added to the permission.

### **Consultation responses from internal consultees**

240. **Archaeology:** The Council's Archaeologist's assessment is covered in the main report dealing with archaeology.
241. **Case Officer:** Noted and conditions and planning obligation included within the permission and S106.
242. **Urban Forrester**  
The Urban Forrester officer's assessment is covered in the major report dealing with trees and landscaping.
243. **Case Officer:** conditions and planning obligation included within the permission and S106.
244. **Environmental Protection**  
The EPT officer's assessment are covered in the major report dealing with the relevant environmental matters.
245. **Case Officer:** conditions included within the permission.

246. **Local Economy Team**

LET is happy to support the application in general which matches the economic, job and growth plans as discussed in the planning statement and meets the land use considerations set out in the planning statement as assessed using the SLP 2022. As such, the application is supported subject to suitable clauses within a s106 agreement to cover employment and training; construction phase jobs/skills and employment requirements.

247. **Case Officer:** Noted and clauses included within the s106.

248. **Local Lead Flood Authority (LLFA)**

The LLFA has reviewed the application proposal and supports it in principle subject to conditions as summarised within the SuDs section of the main report.

### **Community impact and equalities assessment**

249. The council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights

250. The council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application.

251. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:

1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act.
2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
  - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
  - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
  - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low
3. The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.



252. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership. The application proposal would provide modern accessible workspace to groups who might otherwise not be able to take advantage of the employment opportunities created. The training and apprenticeship programmes would be likely to benefit young people locally the majority of whom are from BAME backgrounds. The scheme would not discriminate or create any harm to those with protected characteristics.

### **Human rights implications**

253. This planning application engages certain human rights under the Human Rights Act 2008 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.
254. This application has the legitimate aim of providing new mixed-use development. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

### **Positive and proactive statement**

255. The council has published its development plan and Core Strategy on its website together with advice about how applications are considered and the information that needs to be submitted to ensure timely consideration of an application. Applicants are advised that planning law requires applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
256. The council provides a pre-application advice service that is available to all applicants in order to assist applicants in formulating proposals that are in accordance with the development plan and core strategy and submissions that are in accordance with the application requirements.

### **257. Positive and proactive engagement: summary table**

Was the pre-application service used for this application?	YES
If the pre-application service was used for this application, was the advice given followed?	YES
Was the application validated promptly?	YES
If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval?	YES
To help secure a timely decision, did the case officer submit their recommendation in advance of the agreed Planning Performance Agreement date?	NO

## Conclusion on planning issues

258. The major redevelopment of the site is supported and welcomed in principle. The principle of a commercial/office/studio scheme on the site is also accepted, and would be in line with policy aspirations to increase the number of employment opportunities within OKR 13.
259. The increased provision of flexible commercial and employment floorspace on along with the introduction of policy compliant Affordable Workspace within the development is considered to be a major benefit of the scheme
260. The proposed development provides one blue badge parking space and provides 168 cycling parking spaces. The stepped, setback of the upper floors of the development from the Verney Road frontage to reduce the potential impact on the Bermondsey works development opposite the site would provide a satisfactory townscape and neighbourly response. The proposed development with its sensitive and well-modulated elevations would secure improved public realm.
261. The impacts of the scheme on neighbouring properties in relation to daylight and sunlight would not result in detrimental harm to the living conditions of neighbouring occupiers. Furthermore, in cases, where the results would not satisfy the BRE Guidelines, the retained levels would be within the range considered acceptable for an urban location.
262. The architectural design is considered to be high quality and would significantly improve the site within the context of the surrounding area.
263. It is therefore recommended that planning permission be granted, subject to conditions, the timely completion of a S106 Agreement and referral to the Mayor of London.

## BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Site history files: 6-12 Verney Road Application files: 23/AP/0948; 23/AP/0071 & 17/AP/4508 Southwark Local Development Framework and Development Plan Documents	Resources Department 160 Tooley Street London SE1 2QH	Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 0254 Council website: www.southwark.gov.uk

## APPENDICES

No.	Title
Appendix 1	Recommendation (draft decision notice)
Appendix 2	Relevant planning policies
Appendix 3	Planning history of the site and nearby sites
Appendix 4	Consultation undertaken
Appendix 5	Consultation responses received

## AUDIT TRAIL

<b>Lead Officer</b>	Stephen Platts, Director of Planning and Growth	
<b>Report Author</b>	Paul Ricketts, Planning Team Leader	
<b>Version</b>	Final	
<b>Dated</b>	26 September 2024	
<b>Key Decision</b>	No	
<b>CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER</b>		
<b>Officer Title</b>	<b>Comments Sought</b>	<b>Comments included</b>
Strategic Director, Resources	No	No
Acting Strategic Director, Environment, Sustainability and Leisure	No	No
Strategic Director, Housing	No	No
<b>Date final report sent to Constitutional Team</b>		26 September 2024

**Recommendation****DECISION NOTICE**

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**LBS Reg. No.:** 23/AP/0948**Date of Issue of Decision:**

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Applicant BL Whiteley Limited

**Pending legal agreement & referral to GLA WITH LEGAL AGREEMENT for the following development:**

Demolition of existing buildings and structures on the site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) plus part ground floor flexible Ea and/or Eb together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works (as revised on 29.02.2024 and 29.04.2024).

At

6-12 VERNEY ROAD, LONDON, SOUTHWARK SE16 3DH

In accordance with the valid application received on 9 May 2023 and supporting documents submitted which can be viewed on our Planning Register.

For the reasons outlined in the case officer's report, which is also available on the Planning Register.

The Planning Register can be viewed at: <https://planning.southwark.gov.uk/online-applications/>

**Definitions:**

**"Above-Grade"** means any works of construction above the ground level at the time the works are carried out;

**"Development"** means the Development permitted by this Planning Permission (ref: 23/AP/0948);

**"Excluded Works"** means any of the following works:

- a) demolition or removal of existing buildings and structures/boundary walls (excluding the removal of any underground structures);

- b) installation of temporary hoarding;
- c) termination or diversion of existing utility services where not undertaken by a statutory provider under their statutory powers;
- d) Surveys/site investigations as necessary;
- e) Setup site/welfare; and
- f) temporary construction works

**"Occupation"** means the use or occupation of the Development or any part thereof for the purposes permitted and does not include occupation by personnel engaged in construction, fitting out or decoration, commissioning or occupation for marketing or display or operations in relation to security operations and the phrases "Occupy" and "Occupied" and cognate expressions shall be construed accordingly.

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## Conditions

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### Permission is subject to the following Approved Plans Condition:

1. The development shall be carried out in accordance with the following approved plans:

Reference no./Plan or document name/Rev.	Received on:
VER-BDP-ZZ-00-DR-L-100002 General Arrangement Plan - Terraces and Roof level P02	04/09/2024
VER-BDP-ZZ-00-DR-L-100001 General Arrangement Plan - Ground Floor P02	04/09/2024
0284-INSIG-RP-MEP-11-(07) Verney Road Energy Statement 2 August 2024	06/09/2024
18189 - THP-XX-XX-DR-A-(00)26_P02 - Facade Bay Detail 01	29/04/2024
18189 - THP-XX-XX-DR-A-(00)27_P02 - Facade Bay Detail 02	29/04/2024
18189 - THP-XX-XX-DR-A-(00)28_P02 - Facade Bay Detail 03	29/04/2024
18189 - THP-XX-XX-DR-A-(00)29_P02 - Facade Bay Detail 04	29/04/2024
18189 - THP-XX-XX-DR-A-(00)30_P02 - Facade Bay Detail 05	29/04/2024
18189 - THP-XX-XX-DR-A-(00)31_P02 - Facade Bay Detail 06	29/04/2024
18189 - THP-XX-XX-DR-A-(00)32_P02 - Facade Bay Detail 07	29/04/2024

18189 - THP-XX-XX-DR-A-(00)33_P02 - Facade Bay Detail 08	29/04/2024
18189 - THP-XX-XX-DR-A-(00)34_P02 - Facade Bay Detail 09	29/04/2024
18189 - THP-XX-XX-DR-A-(00)40_P01 - Proposed Corner Studies 01	29/04/2024
18189 - THP-XX-XX-DR-A-(00)41_P01 - Proposed Corner Studies 02	29/04/2024
18189-132C - PROPOSED ELEVATIONS 01	29/04/2024
18189-133C - PROPOSED ELEVATIONS 02	29/04/2024
18189-134C - PROPOSED ELEVATIONS 03	29/04/2024
18189-140C - PROPOSED BAY STUDY 01	29/04/2024
18189-141C - PROPOSED BAY STUDY 02	29/04/2024
18189-142C - PROPOSED BAY STUDY 03	29/04/2024
18189-143C - PROPOSED BAY STUDY 04	29/04/2024
18189-144C - PROPOSED BAY STUDY 05	29/04/2024
18189-145C - PROPOSED BAY STUDY 06	29/04/2024
Verney Road Daylight and Sunlight Addendum - 26.04.2024 Final	29/04/2024
240429 Statement of Community Involvement - Verney Road Logistics Hub - Addendum	29/04/2024
Verney Road heritage and townscape assessment Addendum 230424 FINAL	25/04/2024

0284-INSIG-RP-MEP-15-(P5) Verney Road Sustainability Statement	18/04/2024
0284-INSIG-RP-MEP-14-(P10) Verney Road Circular Economy Statement	30/05/2024
332410749 - Verney Road - Operational Waste Strategy - UPDATED MAY 2024	30/05/2024
0284-INSIG-RP-MEP-11-(06) Verney Road Energy Statement	18/04/2024
0284-INSIG-RP-MEP-12-(P6) WLC Assessment Verney Road	18/04/2024
2023-09-11_Verney Road - Bat Survey Report	02/04/2024
2024-03-07_Verney_UGF Technical Note Rev C	09/03/2024
2024-03-08_Verney Road_BIA Technical Note Rev A	09/03/2024
FRA and SUDs report addendum	07/03/2024
Air Quality Report addendum	07/03/2024
Utilities Report	07/03/2024
Updated Cover Letter	29/02/2024
18189-DESIGN & ACCESS ADDENDUM - VERNEY ROAD - LBS	29/02/2024
Verney Road Daylight and Sunlight Addendum - 29.02.2024 Planning Issue	29/02/2024
18189-120A - PROPOSED BLOCK PLAN - VERNEY ROAD - LBS	29/02/2024
18189-121B - PROPOSED SITE PLAN - VERNEY ROAD - LBS	29/02/2024

18189-122C - PROPOSED GROUND FLOOR PLAN - VERNEY ROAD - LBS	29/02/2024
18189-123B - PROPOSED MEZZANINE PLAN - VERNEY ROAD - LBS	29/02/2024
18189-124C - PROPOSED FIRST FLOOR PLAN - VERNEY ROAD - LBS	29/02/2024
18189-125C - PROPOSED SECOND FLOOR PLAN - VERNEY ROAD - LBS	29/02/2024
18189-126C - PROPOSED THIRD FLOOR PLAN - VERNEY ROAD - LBS	29/02/2024
18189-127B - PROPOSED ROOF LEVEL PLAN - VERNEY ROAD - LBS	29/02/2024
18189-129B - PROPOSED SECTIONS 01 - VERNEY ROAD - LBS	29/02/2024
18189-130B - PROPOSED SECTIONS 02 - VERNEY ROAD - LBS	29/02/2024
18189-137B - PROPOSED BOUNDARY TREATMENT - VERNEY ROAD - LBS	29/02/2024
18189-150A - PROPOSED FIRST FLOOR MEZZANINE PLAN - VERNEY ROAD - LBS	29/02/2024
18189-AR-100_REV_B PROPOSED AREA SCHEDULE - VERNEY ROAD - LBS	29/02/2024
0284-INSIG-RP-MEP-07-(P6) External Lighting Assessment addendum	29/02/2024
240229-R01-GL22084-Verney Road Fire Statement-CIC	29/02/2024
22491-R03-C Verney Road, acoustic report for planning	29/02/2024



LBS Schedule of Development Form (Verney Road)	29/02/2024
240301 Statement of Community Involvement Addendum	29/02/2024
Verney Road Transport Assessment Addendum	29/02/2024
TVIA - Verney Road 2024 Updates v2	29/02/2024
Verney Road - Updated CIL Form 1	29/02/2024
Verney Road - Planning Statement (March 2023)	04/04/2023
18189 - Design & Access Statement-Verney Road-LBS Submission (March 2023)	04/04/2023
18189-100 - SITE LOCATION PLAN - VERNEY ROAD - LBS	04/04/2023
18189-115 - PROPOSED DEMOLITION PLAN- VERNEY ROAD - LBS (March 2023)	04/04/2023
TVIA - Verney Road 220323 (March 2023)	04/04/2023
Outline CEMP (March 2023)	04/04/2023
Construction Logistics Plan - Verney Road (March 2023)	04/04/2023
Transport Assessment - Verney Road – Rev B (March 2023)	04/04/2023
Travel Plan (March 2023)	04/04/2023
External Lighting Assessment (March 2023)	04/04/2023
Verney Road - Daylight and Sunlight Report March 23 - Planning Issue V2 (March 2023)	04/04/2023
Noise Impact Assessment (March 2023)	04/04/2023
2902 - Verney Road - FRA and SuDS Strategy Report - 22-03-21 (March 2023)	04/04/2023

Biodiversity Survey & EclA (March 2023)	04/04/2023
Archaeological Assessment (March 2023)	04/04/2023
AQA - Verney Road (March 2023)	04/04/2023
Heritage Statement (March 2023)	04/04/2023
Statement of Community Involvement - Verney Road - LBS (March 2023)	04/04/2023
Ground Investigation Report STU5865-G01 (March 2023)	04/04/2023

Reason: For the avoidance of doubt and in the interests of proper planning.

**Permission is subject to the following Time Limit:**

2. The development hereby permitted shall be begun before the end of three years from the date of this permission.

**Reason:** As required by Section 91 of the Town and Country Planning Act 1990 as amended.

**Permission is subject to the following Pre-Commencements Condition(s)**

3. **Archaeological Evaluation**

Before any work hereby authorised begins, (excluding demolition to slab level and site investigation works), the applicant shall secure the implementation of a programme of archaeological evaluation works in accordance with a written scheme of investigation, which shall be submitted to and approved in writing by the Local Planning Authority.

**Reason:** In order that the applicants supply the necessary archaeological information to ensure suitable mitigation measures and/or foundation design proposals be presented in accordance with the National Planning Policy Framework (2023); Policy P23 (Archaeology) of the Southwark Plan (2022).

4. **Archaeological Mitigation**

Before any work hereby authorised begins, [excluding archaeological evaluation, demolition to slab level, and site investigation works] the applicant shall secure the implementation of a programme of archaeological mitigation works in accordance with a written scheme of investigation, which shall be submitted to and approved in writing by the Local Planning Authority.

**Reason:** In order that the details of the programme of works for the archaeological mitigation are suitable with regard to the impacts of the proposed development and the nature and extent of archaeological remains on site in accordance with Policy P23 Archaeology of the Southwark Plan (2022) and the National Planning Policy Framework 2023.

#### 5. **Archaeological Pre-commencement Foundation and Basement Design Condition**

Before any work, hereby authorised, [excluding demolition to slab level, archaeological evaluation and site investigation works], begins, the applicant shall submit a detailed scheme showing the complete scope and arrangement of the basement and foundation design, and all associated subterranean groundworks, including the construction methods. The submitted documents should show how archaeological remains will be protected by a suitable mitigation strategy. The detailed scheme will need to be approved in writing by the Local Planning Authority and the development shall only be carried out in accordance with the approval given.

**Reason:** In order that all below ground impacts of the proposed development are known and an appropriate protection and mitigation strategy is achieved to preserve archaeological remains by record and/or in situ in accordance with Policy P23 Archaeology of the Southwark Plan (2022) and the National Planning Policy Framework 2023.

#### 6. **Construction Environmental Management Plan Required**

Prior to the commencement of development (other than Excluded Works), the updated Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority. The updated CEMP shall oblige the applicant, developer and contractors to commit to current best practice with regard to construction site management and to use reasonable endeavours to minimise off-site impacts, and will include the following information:

- A detailed specification of demolition and construction works at each phase of development including consideration of all environmental impacts and the identified remedial measures;

- Site perimeter continuous automated noise, dust and vibration monitoring;
- Engineering measures to eliminate or mitigate identified environmental impacts e.g. hoarding height and density, acoustic screening, sound insulation, dust control measures, emission reduction measures, location of specific activities on site, etc.;
- Arrangements for a direct and responsive site management contact for nearby occupiers during demolition and/or construction (signage on hoardings, newsletters, residents liaison meetings, etc.);
- A commitment to adopt and implement of the ICE Demolition Protocol and Considerate Contractor Scheme; Site traffic - Routing of in-bound and outbound site traffic, one-way site traffic arrangements on site, location of lay off areas, etc.;
- Site waste Management - Accurate waste stream identification, separation, storage, registered waste carriers for transportation and disposal at appropriate destinations; and
- A commitment that all NRMM equipment (37 kW and 560 kW) shall be registered on the NRMM register and meets the standard as stipulated by the Mayor of London.

To follow current best construction practice, including the following:

- Southwark Council's Technical Guide for Demolition & Construction at <https://www.southwark.gov.uk/construction>;
- Section 61 of Control of Pollution Act 1974;
- The London Mayors Supplementary Planning Guidance 'The Control of Dust and Emissions During Construction and Demolition';
- The Institute of Air Quality Management's 'Guidance on the Assessment of Dust from Demolition and Construction' and 'Guidance on Air Quality Monitoring in the Vicinity of Demolition and Construction Sites';
- BS 5228-1:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites. Noise';

- BS 5228-2:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites. Vibration';
- BS 7385-2:1993 Evaluation and measurement for vibration in buildings. Guide to damage levels from ground-borne vibration;
- BS 6472-1:2008 'Guide to evaluation of human exposure to vibration in buildings - vibration sources other than blasting; and
- Relevant Stage emission standards to comply with Non-Road Mobile Machinery (Emission of Gaseous and Particulate Pollutants) Regulations 1999 as amended & NRMM London emission standards (<https://nrmm.london>).

All demolition and construction work shall be undertaken in strict accordance with the approved CEMP and other relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that occupiers of neighbouring premises and the wider environment do not suffer a loss of amenity by reason of pollution and nuisance, in accordance with the National Planning Policy Framework (2023); Policy P50 (Highway impacts), Policy P56 (Protection of amenity), Policy P62 (Reducing waste), Policy P64 (Contaminated land and hazardous substances), Policy P65 (Improving air quality) and Policy P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan (2022).

## 7. Piling Method Statement Required

No piling shall take place until a piling method statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface water infrastructure, and the programme for the works) has been submitted to and approved in writing by the Local Planning Authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

**Reason:** To ensure adequate protection of water utility infrastructure in accordance with Policy P67 (Reducing water use) of the Southwark Plan (2022). The proposed works will be in close proximity to underground water utility infrastructure. Piling has the potential to impact on local underground water utility infrastructure.

Please read the Thames Water guide 'working near our assets' to ensure your workings will be in line with the necessary processes you need to follow if you're considering working above or near our pipes or other

structures:

<https://www.thameswater.co.uk/developers/larger-scale-developments/planning-your-development/working-near-our-pipes>

## 8. Drainage details

Prior to the commencement of development (other than Excluded Works) full details of the proposed surface water drainage system incorporating Sustainable Drainage Systems (SuDS) have been submitted to and approved in writing by the Local Planning Authority, including detailed design, size and location of attenuation units and details of flow control measures. The strategy should achieve a reduction in surface water runoff rates during the 1% Annual Exceedance Probability (AEP) event plus climate change allowance, as detailed in the Flood Risk Assessment & SuDS Strategy Report prepared by Heyne Tillet Steel (dated 29 February 2024 – Revision 07). The total impermeable area must be accounted for in the drainage calculations (0.696ha). The applicant must demonstrate that the site is safe in the event of blockage/failure of the system, including consideration of exceedance flows. The site drainage must be constructed in accordance with the approved details.

**Reason:** To minimise the potential for the site to contribute to surface water flooding in accordance with Southwark's Strategic Flood Risk Assessment (2017) and Policy SI 13 of the London Plan (2021).

## 9. LANDSCAPE AND ECOLOGICAL MANAGEMENT PLAN

Prior to the commencement of development a Landscape Management Plan, including long-term design objectives, management responsibilities and maintenance schedules for all landscaped areas, shall be submitted to and approved in writing by the Local Planning Authority. The Landscape Management Plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the Local Planning Authority.

The scheme shall include the following elements:

- The roof
- Soft landscaping
- Ecological features to include swift boxes, bat boxes and invertebrate habitats.
- Trees: For stem girths of up to 20cm the schedule shall be a minimum of three years, and five years for stem girths greater than 20cm. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the local planning authority.

If within a period of five years from the date of the planting of any

tree that tree, or any tree planted in replacement for it, is removed, uprooted or destroyed or dies, or becomes, in the opinion of the local planning authority, seriously damaged or defective, another tree of the same species and size as that originally planted shall be planted at the same place in the first suitable planting season., unless the local planning authority gives its written consent to any variation. Works shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 8545 (2014) Trees: from nursery to independence in the landscape; BS3998: (2010) Tree work - recommendations; BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf); EAS 01:2021 (EN) -Tree Pruning Standard; EAS 03:2022 (EN) - Tree Planting Standard.

**Reason:** To ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site, to ensure the management of the public realm and that the Council may be satisfied with the details of the landscaping scheme, in accordance with Chapters 8, 12, 15 and 16 of the National Planning Policy Framework (2023); Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage); G1 (Green infrastructure), G5 (Urban greening), G6 (Biodiversity and access to nature), G7 (Trees and Woodlands) and D8 (Public realm) of the London Plan (2021); Policies P13 (Design of Places), P14 (Design Quality), P56 (Protection of Amenity), P57 (Open Space), P59 (Green infrastructure) and P60 (Biodiversity) of the Southwark Plan (2022).

### **Permission is subject to the following Above Grade Condition(s)**

#### **10. Fire Strategy**

Prior to the commencement of Above Grade works (other than Excluded Works) final details regarding construction methods and materials contained within a Fire Strategy are to be submitted to and agreed in writing by the Local Planning Authority and such details to be fully implemented and maintained thereafter.

**Reason:** In order to ensure that the fire safety of the proposed development has been duly considered, as required by Policy D12 'Fire safety' of the London Plan (2021).

#### **11. Details of Fire Appliances**

Prior to the commencement of above grade works (other than Excluded Works) details of access for fire appliances as required by part 5B of the Building Regulations and details of adequate water supplies for firefighting

purposes shall be submitted to and approved in writing by the Local Planning Authority and such details of access for fire appliances and adequate water supplies for firefighting purposes shall be implemented and secured in perpetuity on completion of the scheme.

**Reason:** To meet the requirements for fire safety set out in policy D12 of the London Plan 2021

## 12. **Details of bird and/or bat nesting boxes / bricks**

Prior to the commencement of Above Grade works (other than Excluded Works), details of bird and/or bat nesting boxes / bricks shall be submitted to and approved in writing by the Local Planning Authority to include roof, soft landscaping and ecological features and there shall be no less than 3 bat tubes and 6 Swift boxes across the development as a whole.

**Reason:**

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with policies: G6 of the London Plan 2021, and Strategic Policy SP6 'Climate emergency', and Policy P60 'Biodiversity' of the Southwark Plan 2022

## 13. **Full-scale mock-up**

Prior to the commencement of Above Grade works (other than Excluded Works), a full-scale (1:1) mock-ups of the facades to be used in the carrying out of this permission shall be presented on site to the Local Planning Authority and approved in writing. The development shall not be carried out otherwise than in accordance with any such approval given. The façade areas to be mocked up should be agreed with the Local Planning Authority prior to the construction of the mocked-up facades.

**Reason:** In order that the Local Planning Authority may be satisfied that these samples will make an acceptable contextual response in terms of materials to be used, and achieve a quality of design and detailing in accordance with the National Planning Policy Framework 2023, Policy D9 Tall Buildings of the London Plan 2021, and Policies: P14 Quality in design; and P17 Tall buildings of The Southwark Plan 2022.

## 14. **Secured by Design**

Prior to the commencement of Above Grade works (other than Excluded Works), details of security measures which accord with the principles and objectives of Secured by Design shall be submitted to and approved in writing by the Local Planning Authority and any such approved security measures shall be implemented prior to Occupation in accordance with the



approved details which shall seek to achieve the 'Secured by Design' accreditation award from the Metropolitan Police.

**Reason:**

In pursuance of the Local Planning Authority's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions and to improve community safety and crime prevention in accordance with The National Planning Policy Framework 2023, and Policy P16 Designing out crime of the Southwark Plan 2022.

15. **Blue/ green/ brown roof(s)**

Prior to the commencement of Above Grade works (other than Excluded Works), details of the blue/ green/ brown roof(s) shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity blue/ green/ brown roof(s) shall be:

- \* blue roof(s) with vegetation layer over structure.
- \* laid out in accordance with agreed roof plans; and
- \* planted/seeded or covered with a vegetation mat with an agreed mix of species within the first planting season following the practical completion of the building works.

The biodiversity blue/ green/ brown roof(s) shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair or escape in case of emergency.

The biodiversity blue/ green/ brown roof(s) shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter. The Local Planning Authority shall discharge this condition on receiving and agreeing the details of the blue/green/brown roof(s) Details approved shall thereby be carried out in accordance with the approved plans.

**Reason:**

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with: Policies G1 (Green Infrastructure) and G5 (Urban Greening) and of the London Plan 2021; and Strategic Policy SP6 'Climate emergency', and Policies P59 'Green infrastructure'; and P60 'Biodiversity'; of the Southwark Plan 2022

16. **Full particulars of the sprinkler system**

Prior to the commencement of Above Grade works (other than Excluded Works), full particulars of the sprinkler system to be used within the Development shall be submitted to and approved by the Local Planning

Authority. The development shall not be carried out otherwise than in accordance with any approval given.

**Reason:**

To ensure that there is an adequate level of fire safety within the approved development.

**17. Detailed lighting strategy and design**

Prior to the installation of any lighting, a detailed lighting strategy and design for all internal and external lighting, demonstrating compliance with the Institute of Lighting Professionals (ILP) Guidance Notes, shall be submitted to and approved in writing by the Local Planning Authority. If mitigation is required to avoid harmful light pollution or light spillage it shall be implemented prior to the first use of the building and retained as such thereafter.

**Reason:**

In order that the Council may be satisfied as to the details of the development in the interest of the visual amenity of the area, the amenity and privacy of adjoining occupiers, and their protection from light nuisance, in accordance with The National Planning Policy Framework 2023, Strategic Policy 12 Design and Conservation and Policies P56 'Protection of amenity' and P16 'Designing out crime' of the Southwark Plan 2022.

**18. Hard and soft landscaping**

Before any above grade work hereby authorised begins, detailed drawings of a hard and soft landscaping scheme showing the treatment of all parts of the site not covered by buildings shall be submitted to and approved in writing by the Local Planning Authority. The site shall be landscaped strictly in accordance with the approved details in the first planting season after completion of the development. Details shall include:

- 1) a scaled plan showing all existing vegetation and landscape features to be retained with proposed trees, hedging, perennial and other plants;
- 2) proposed parking, access, or pathway layouts, materials and edge details;
- 3) location, type and materials to be used for hard landscaping including specifications, where applicable for:
  - a) permeable paving
  - b) tree pit design
  - c) underground modular systems
  - d) sustainable urban drainage integration
  - e) use within tree Root Protection Areas (RPAs);
- 4) typical cross sections;

- 5) a schedule detailing sizes and numbers/densities of all proposed trees/plants;
- 6) specifications for operations associated with plant establishment and maintenance that are compliant with best practice; and
- 7) types and dimensions of all boundary treatments.

There shall be no excavation or raising or lowering of levels within the prescribed root protection area of retained trees unless agreed in writing by the Local Planning Authority.

The landscaping shall not be carried out otherwise than in accordance with any such approval given and shall be retained for the duration of the use. Any trees, shrubs, grass or other planting that is found to be dead, dying, severely damaged or diseased within five years of the completion of the building works OR five years of the carrying out of the landscaping scheme (whichever is later), shall be replaced in the next planting season by specimens of the equivalent stem girth and species in the first suitable planting season.

Unless required by a separate landscape management condition, all soft landscaping shall have a written five-year maintenance programme following planting.

Works shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 5837 (2012) Trees in relation to demolition, design and construction; BS3998: (2010) Tree work - recommendations, BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf); EAS 03:2022 (EN) - Tree Planting Standard.

**Reason:**

So that the Council may be satisfied with the details of the landscaping scheme, in accordance with: Chapters 8, 12, 15 and 16 of the National Planning Policy Framework 2023; Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure, G5 (Urban Greening) and G7 (Trees and Woodlands) of the London Plan 2021; Policy P13 (Design of Places), Policy P14 (Design Quality), Policy P56 (Protection of Amenity), Policy P57 (Open Space), Policy P60 (Biodiversity) and P61 (Trees) of the Southwark Plan (2022).

**19. Invertebrate habitats**

Prior to the commencement of Above Grade works (other than Excluded Works), details of Bee bricks and/or invertebrate hotels shall be submitted to and approved in writing by the Local Planning Authority.

Not less than 6 Bee bricks and/or invertebrate hotels shall be provided, and

the details shall include the exact location, specification and design of the habitats. Bee bricks and/or invertebrate hotels shall be installed within the Development prior to Occupation.

The Bee bricks and/or invertebrate hotels shall be installed strictly in accordance with the details so approved and shall be maintained as such thereafter. Discharge of this condition will be granted on receiving the details of the invertebrate features and mapped locations and the Local Planning Authority agreeing the submitted plans, and once the invertebrate features are installed in full in accordance with the agreed plans.

**Reason:**

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with policies: G6 of the London Plan 2021, P59 and P60 of the Southwark Plan 2022

**Permission is subject to the following Pre-Occupation Condition(s)**

**20. Bat friendly lighting**

Prior to Occupation of the Development, a bat friendly Lighting Plan shall be submitted to and approved by the Local Planning Authority.

The recommended lighting specification using LED's (at 3 lux) because they have little UV. The spectrum recommended is 80% amber and 20% white with a clear view, no UV, horizontal light spread ideally less than 70° and a timer.

If required a 3D plan of the illumination level should be supplied so the Local Planning Authority can assess potential impact on protected species.

**Reason:** To ensure compliance with the Habitats Regulations and the Wildlife & Countryside Act (1981), (as amended), and because bats are known to be active in vicinity of the development site

**21. Digital connectivity infrastructure**

Prior to Occupation of the Development, detailed plans shall be submitted to and approved in writing by the Local Planning Authority demonstrating the provision of sufficient ducting space for full fibre connectivity infrastructure within the development. The development shall be carried out in accordance with the approved plans and maintained as such in perpetuity.

Reason:

To provide high quality digital connectivity infrastructure to contribute to London's global competitiveness, in accordance with the National Planning Policy Framework 2023, and Policy SI 6 (Digital Connectivity Infrastructure) of the London Plan 2021.

**22. Commercial Refuse Storage**

Prior to Occupation of the Development, details of the arrangements for the storing of commercial refuse shall be submitted to and approved in writing by the Local Planning Authority and the facilities approved shall be provided and made available for use by the Occupiers. The facilities shall thereafter be retained and shall not be used for any other purpose.

Reason:

To ensure that the refuse will be appropriately stored within the site thereby protecting the amenity of the site and the area in general from litter, odour and potential vermin/pest nuisance in accordance with The National Planning Policy Framework 2023, and Policies P56 'Protection of amenity' and P62 'Reducing waste' of The Southwark Plan 2022

**23. Fire Evacuation lift**

Prior to Occupation of the Development, details shall be submitted to and approved in writing by the local planning authority demonstrating that a minimum of one lift per core will be a suitably sized fire evacuation lift suitable to be used to evacuate people who require level access from the building. The Development shall be carried out in accordance with these details and maintained as such in perpetuity.

**Reason:**

In order to ensure that the proposed development complies with the requirements of the London Fire Brigade and Policy D12 Fire Safety of the London Plan 2021

**24. Drainage verification report**

Prior to Occupation of the Development a drainage verification report as prepared by a suitably qualified engineer shall be submitted to and approved in writing by the Local Planning Authority. The report shall provide evidence that the drainage system (incorporating SuDS) has been constructed according to the approved details and specifications (or detail any minor variations where relevant) as detailed in the Flood Risk Assessment & SuDS Strategy Report prepared by Heyne Tillett Steel (dated February 2024 - Revision: 07) and shall include plans, photographs

and national grid references of key components of the drainage network such as surface water attenuation structures, flow control devices and outfalls. The report shall also include details of the responsible management company.

**Reason:**

To ensure that the surface water drainage complies with Southwark's Strategic Flood Risk Assessment (2017) and Policy SI 13 of the London Plan (2021).

**25. Circular Economy Post Completion Report**

Prior to Occupation of the Development, a Post Completion Report setting out the predicted and actual performance against all numerical targets in the relevant Circular Economy Statement shall be submitted to the GLA at: CircularEconomyLPG@london.gov.uk, along with any supporting evidence as per the GLA's Circular Economy Statement Guidance.

The Post Completion Report shall provide updated versions of Tables 1 and 2 of the Circular Economy Statement, the Recycling and Waste Reporting form and Bill of Materials. Confirmation of submission to the GLA shall be submitted to, the Local Planning Authority.

**Reason:**

In the interests of sustainable waste management and in order to maximise the re-use of materials.

**26. Whole Life Carbon Assessment**

Prior to Occupation of the Development the post-construction tab of the GLA's whole life carbon assessment template should be completed accurately and in its entirety in line with the GLA's Whole Life Carbon Assessment Guidance. The post-construction assessment should provide an update of the information submitted at planning submission stage, including the whole life carbon emission figures for all life-cycle modules based on the actual materials, products and systems used. This should be submitted to the GLA at: ZeroCarbonPlanning@london.gov.uk, along with any supporting evidence as per the guidance. Confirmation of submission to the GLA shall be submitted to, the Local Planning Authority, prior to Occupation of the Development.

**Reason:**

In order to comply with London Plan Policy SI 2 and Policy P70 of the Southwark Local Plan, 2022.

**27. Flood Risk and Evacuation Plan**

Prior to the Occupation of the Development, a Flood Risk and Evacuation Plan should be submitted to and approved in writing by the Local Planning Authority in conjunction with Southwark's Emergency Planning team. The plan should state how Occupants will be made aware that they can sign up to the Environment Agency Flood Warning services, and of the plan itself. The plan should provide details of how Occupants should respond in the event that they receive a flood warning or become aware of a flood.

**Reason:**

In order to comply with Policy SI 5 of the London Plan, 2021

28. **BREEAM**

(a) Before the commencement of any fit out works to the Development, an independently verified BREEAM Design Stage report (detailing performance in each category, overall score, BREEAM rating and a BREEAM certificate of building performance) to achieve a minimum 'excellent' rating (unless otherwise agreed by the Local Planning Authority) shall be submitted to and approved in writing by the Local Planning Authority and the Development shall not be carried out otherwise than in accordance with any such approval given;

(b) Within 6 months of the first occupation of the building hereby permitted, a certified Post Construction Review (or other verification process agreed with the local planning authority) shall be submitted to and approved in writing by the Local Planning Authority, confirming that the agreed standards at (a) have been met.

**Reason:**

To ensure the proposal complies with the National Planning Policy Framework, 2023; Policy P69 ('Sustainability standards') of the Southwark Local Plan, 2022 and Policy SI2 ('Minimising greenhouse gas emissions') of the London Plan 2021.

29. **Ecological Monitoring**

Prior to the Development being Occupied, a scheme for monitoring the effectiveness of the biodiversity mitigation and enhancement measures shall be submitted to and approved in writing by the Local Planning Authority. This shall include: Annual protected species surveys of created features, botanical/bird/invertebrate surveys of created habitats and use of bird or bat boxes); and for monitoring to be carried out and reported to the Local Planning Authority in accordance with the agreed scheme for a period of 30 years and for surveys to be undertaken in years 1, 3, 5, 7, 10, 15, 20, 25 and 30. Species results will be submitted to the London Biological Records Centre, Greenspace Information for Greater London (GIGL).

**Reason:**

To comply with the Biodiversity Net Gain requirements of the Environment Act 2021. To measure the effectiveness of biodiversity mitigation and/or enhancement measures, to see whether the measures achieve the expected biodiversity benefits. This will help refine the design of net gain/mitigation schemes to ensure effective measures are delivered in future developments.

30. **Operational Management Plan**

Prior to the Occupation of the Development, an operational management plan shall be submitted to and approved in writing by the Local Planning Authority. The submitted details must include but shall not be limited to the following:

- (i) A strategy to manage vehicles (including cargo bikes) servicing and delivering from the site;
- (ii) Anticipated Frequency and timings of deliveries to and from the site;
- (iii) The management of loading and unloading of vehicles delivering to and from the site;

The use of the Development shall thereafter be carried on in accordance with the approved operational management plan.

**Reason:**

To ensure highway safety and to protect the amenities of neighbouring occupiers.

**Permission is subject to the following Compliance Condition(s)**31. **Background, Rating and Specific Sound levels**

The rated sound level from any plant forming part of the Development together with any associated ducting, shall not exceed the Background sound level (LA90 15min) at the nearest noise sensitive premises. Furthermore, the Specific plant sound level shall be 10dB(A) or more below the background sound level in this location. For the purposes of this condition the Background, Rating and Specific Sound levels shall be calculated fully in accordance with the methodology of BS4142:2014+A1:2019.

Suitable acoustic treatments shall be used to ensure compliance with the above standard. A validation test shall be carried out and the results submitted to the Local Planning Authority for approval in writing to demonstrate compliance with the above standard. Once approved the plant and any acoustic treatments shall be permanently maintained thereafter.



**Reason:**

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment from noise creep due to plant and machinery in accordance with the National Planning Policy Framework 2023, and Policy P56 'Protection of Amenity' of the Southwark Local Plan 2022.

32. **Parking permit restriction**

No employer or employee of any part of the Development hereby permitted, with the exception of disabled persons, shall seek, or will be allowed, to obtain a parking permit within any future controlled parking zone in Southwark in which the application site is situated.

**Reason:**

To ensure compliance with Strategic Policy 6 'Climate emergency' of the Southwark Plan 2022.

33. **Cycle parking facilities**

The cycle parking facilities shall be provided prior to the Occupation of the Development and thereafter shall be retained and the space used for no other purpose and the Development shall not be carried out otherwise in accordance with any such approval given.

**Reason:**

In order to ensure that satisfactory safe and secure cycle parking facilities are provided and retained in order to encourage the use of cycling as an alternative means of transport to the development and to reduce reliance on the use of the private car in accordance with the National Planning Policy Framework 2023; Policy T5 of the London Plan 2021; Strategic Policy 6 'Climate emergency' and Policy P53 'Cycling' of the Southwark Plan 2022.

34. **Blue Badge Parking**

Provision of one Blue Badge Parking bay as identified on drawing '18189-121B - PROPOSED SITE PLAN – VERNEY ROAD - REV B, shall be provided in accordance with BS8300 requirements prior to the Occupation of the Development and retained thereafter unless as otherwise agreed in writing by the Local Planning Authority.

**Reason:**

To encourage more sustainable travel in accordance with the National Planning Policy Framework, 2023 and Policy P54 Car Parking of the

Southwark Plan, 2022.

**35. Electric Vehicle Charging Points**

Electric Vehicle Charging Points (EVCPs) are required to London Plan standards, which as of 2023 are 20% active and 80% passive provision, considering all parking spaces, and should be maintained in perpetuity.

**Reason:**

To encourage more sustainable travel in accordance with the National Planning Policy Framework, 2023 and Policy P54, Car Parking of the Southwark Plan, 2022.

**36. Restriction on external telecommunications equipment**

Notwithstanding the provisions of Part 16 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as may be amended or re-enacted) no external telecommunications equipment or structures shall be placed on the roof or any other part of a building hereby permitted without express planning permission from the Local Planning Authority first being obtained (including as may be shown on the plans approved pursuant to this planning permission)..

**Reason:**

In order to ensure that no telecommunications plant or equipment which might be detrimental to the design and appearance of the building and visual amenity of the area is installed on the roof of the building in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); and Policies P13 'Design of places', and P56 'Protection of amenity' of the Southwark Plan, 2022.

**37. Restriction on additional Mezzanine Level**

No mezzanine level, unless otherwise agreed in writing by the local planning authority, is to be inserted on the ground floor apart from that shown on the hereby approved plans.

**Reason:**

To retain the 4 metres floor to ceiling height of the ground floor in line with the requirements of the draft Old Kent Road Area Action Plan (2020).

**38. No roof plant, equipment or other structures**

No roof plant, equipment or other structures, other than as shown on the plans hereby approved or approved pursuant to a condition of this

permission, shall be placed on the roof or be permitted to project above the roofline of any part of the buildings as shown on elevational drawings or shall be permitted to extend outside of the roof plant enclosures of any buildings hereby permitted unless as otherwise agreed in writing by the Local Planning Authority.

**Reason:**

In order to ensure that no additional plant is placed on the roof of the building in the interest of the appearance and design of the building and the visual amenity of the area in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); and Policies P13 'Design of places', and P56 'Protection of amenity' of the Southwark Plan 2022.

39. **Boxes, flues, vents or pipes**

No boxes, flues, vents or pipes [other than rainwater pipes] or other appurtenances not shown on the approved drawings shall be fixed or installed on the street elevation of the building.

**Reason:**

To ensure such works do not detract from the appearance of the building (s) in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); and Policies P13 'Design of places'; P14 'Design quality', and P56 'Protection of amenity' of the Southwark Plan 2022.

40. **Roof Terrace Opening Hours**

The roof terrace shall not be used outside the hours of 09.00 - 19.00 Monday to Friday, and shall not be used at all on weekends except in cases of essential maintenance or repair or escape in case of emergency.

**Reason:**

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment in accordance with policies P56 (Protection of amenity) and P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan 2022, and the National Planning Policy Framework 2023.

41. **Acoustic mitigation**

The Development shall be implemented and carried out in accordance with the submitted Sandy Brown Acoustic Report (reference 22491-R03-C dated

26 February 2024). Acoustic mitigations shall be permanently maintained thereafter.

**Reason:**

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance due to commercial or industrial noise in accordance with Policies P56 (Protection of amenity) and P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan, 2022 and the National Planning Policy Framework 2023.

**Permission is subject to the following Special Condition(s)**

**42. Archaeological Reporting**

Within one year of the completion of the archaeological work on site, an assessment report detailing the proposals for the off-site analyses and post-excavation works, including publication of the site and preparation for deposition of the archive, shall be submitted to and approved in writing by the Local Planning Authority, and the works detailed in the assessment report shall not be carried out otherwise than in accordance with any such approval given. The assessment report shall provide evidence of the applicant's commitment to finance and resource these works to their completion.

**Reason:**

In order that the archaeological interest of the site is secured with regard to the details of the post-excavation works, publication and archiving to ensure the preservation of archaeological remains by record in accordance with Policy P23 Archaeology of the Southwark Plan 2022 and the National Planning Policy Framework 2023.

**43. Site Contamination**

A) The development hereby approved shall be carried out in accordance with the remediation strategy, prepared by Soiltechnics (dated March 2023 document reference STU5865-G01 Rev B).

B) Following the completion of the works and measures identified in the remediation strategy hereby approved, a verification report providing evidence that all works required by the remediation strategy have been completed, together with any future monitoring or maintenance requirements shall be submitted to and approved in writing by the Local Planning Authority.

C) In the event that potential contamination is found at any time when carrying out the Development that was not previously identified, it shall be reported in writing immediately to the Local Planning Authority, and a

scheme of investigation and risk assessment, a remediation strategy and verification report (if required) shall be submitted to and approved in writing the Local Planning Authority for approval in writing, in accordance with a-b of this condition.

**Reason:**

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with Policy P56 'Protection of amenity' of the Southwark Plan 2022, and the National Planning Policy Framework 2023.

Signed: *Stephen Platts*

Director of Planning and Growth

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## Informative Notes to Applicant Relating to the Proposed Development

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1. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
  
2. A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing [trade.effluent@thameswater.co.uk](mailto:trade.effluent@thameswater.co.uk) . Application forms should be completed online via [www.thameswater.co.uk](http://www.thameswater.co.uk). Please refer to the Wholesale; Business customers; Groundwater discharges section.
  
3. We recommend that the requirements of the National Planning Policy Framework and National Planning Policy Guidance (NPPG) are followed. This means that all risks to groundwater and surface waters from contamination need to be identified so that appropriate remedial action can be taken. This should be in addition to the risk to human health which should be considered by the Local Authority's environmental health department. We expect reports and risk assessments to be prepared in line with our groundwater protection guidance (previously covered by the GP3) and Land Contamination Risk Management principles (Model procedures for the management of land contamination). In order to protect groundwater quality from further deterioration:
  - o No infiltration-based sustainable drainage systems (SuDS) should be constructed on land affected by contamination, as contaminants can remobilise and cause groundwater pollution.
  - o Piling, or any other foundation designs using penetrative methods, must not cause preferential pathways for contaminants to migrate to groundwater and cause pollution. If Piling is proposed, a Piling Risk Assessment must be submitted, written in accordance with EA guidance document "Piling and Penetrative Ground Improvement Methods on Land Affected by Contamination: Guidance on Pollution Prevention. National Groundwater & Contaminated Land Centre report NC/99/73".
  - o Investigative boreholes must be decommissioned to ensure that redundant boreholes are safe and secure, and do not cause groundwater pollution or loss of water supplies, in line with the National Planning Policy Framework.

## Relevant planning policies

### Adopted planning policy

#### National Planning Policy Framework (NPPF)

1. The revised National Planning Policy Framework ('NPPF'), updated in 2023, sets out the national planning policy and how this should be applied. The NPPF focuses on sustainable development with three key objectives: economic, social and environmental. At its heart is a presumption in favour of sustainable development.
2. Paragraph 215 states that the policies in the Framework are material considerations which should be taken into account in dealing with applications.
3. The relevant chapters of the NPPF are:
  - Chapter 2 - Achieving sustainable development
  - Chapter 6 - Building a strong, competitive economy
  - Chapter 7 - Ensuring the vitality of town centres
  - Chapter 8 - Promoting healthy and safe communities
  - Chapter 9 - Promoting sustainable transport
  - Chapter 11 - Making effective use of land
  - Chapter 12 - Achieving well-designed places
  - Chapter 14 - Meeting the challenge of climate change, flooding and coastal change
  - Chapter 15 - Conserving and enhancing the natural environment
  - Chapter 16 - Conserving and enhancing the historic environment

#### London Plan

4. In March 2021, the Mayor of London published the London Plan. The spatial development strategy sets a strategic framework for planning in Greater London and forms part of the statutory Development Plan for Greater London.
5. The strategic objectives of the London Plan are to build strong and inclusive communities, make the best use of land, promote a healthy city, optimise housing delivery including affordable housing, conserve and enhance London's global competitiveness, and move towards a more resilient and sustainable city. Development proposals must comply with the various policies within the Plan and should follow the guidance set out within Supplementary Planning Documents, Guidance and Strategies.
6. The relevant policies of the London Plan are:
  - GG1 - Building strong and inclusive communities
  - GG2 - Making the best use of land

- GG3 - Creating a healthy city
- GG5 - Growing a good economy
- GG6 - Increasing efficiency and resilience
- Policy SD1 - Opportunity Areas
- Policy SD6 - Town centres and high streets
- Policy SD7 - Town centres: development principles and development plan documents
- Policy SD10 - Strategic and local regeneration
- Policy D1 - London's form, character and capacity for growth
- Policy D3 - Optimising site capacity through design-led approach
- Policy D4 - Delivering good design
- Policy D5 - Inclusive design
- Policy D8 - Public realm
- Policy D9 - Tall buildings
- Policy D11 - Safety, security and resilience to emergency
- Policy D12 - Fire safety
- Policy D13 - Agent of change
- Policy D14 - Noise
- Policy E1 -Offices
- Policy E2 - Providing suitable business space
- Policy E3 - Affordable workspace
- Policy E11 - Skills and opportunities for all
- Policy HC1 - Heritage conservation and growth
- Policy HC3 - Strategic and local views
- Policy G1 - Green infrastructure
- Policy G5 - Urban greening
- Policy G6 - Biodiversity and access to nature
- Policy SI 1 - Improving air quality
- Policy SI 2 - Minimising greenhouse gas emissions
- Policy SI 3 - Energy infrastructure
- Policy SI 4 - Managing heat risk
- Policy SI 5 - Water infrastructure
- Policy SI 6 - Digital connectivity infrastructure
- Policy SI 7 - Reducing waste and supporting the circular economy
- Policy SI 8 - Waste capacity and net waste self-sufficiency
- Policy SI 12 - Flood risk management
- Policy SI 13 - Sustainable drainage
- Policy T1 - Strategic approach to transport
- Policy T2 - Healthy Streets
- Policy T3 - Transport capacity, connectivity and safeguarding
- Policy T4 - Assessing and mitigating transport impacts
- Policy T5 - Cycling
- Policy T6 - Car parking
- Policy T6.5 - Non-residential disabled persons parking
- Policy T7 - Deliveries, servicing and construction
- Policy T9 - Funding transport infrastructure through planning
- Policy DF1 - Delivery of the Plan and Planning Obligations



## Relevant London-level Supplementary Planning Documents/ Guidance and Strategies

7. The relevant London-level supplementary planning documents and guidance documents are as follows:
- Mayor of London: Accessible London - Achieving an Inclusive Environment (SPG, 2004)
  - Mayor of London: 'Be Seen' Energy Monitoring Guidance LPG (2022)
  - Mayor of London: Circular Economy Statements (LPG, 2022)
  - Mayor of London: Climate Change Mitigation and Energy Strategy (2010)
  - Mayor of London: Climate Change Adaptation Strategy (2011)
  - Mayor of London: Environment Strategy (2018)
  - Mayor of London: London View Management Framework (SPG, 2012)
  - Mayor of London: Planning for Equality and Diversity in London (SPG, 2007)
  - Mayor of London: Public London Charter (2012)
  - Mayor of London: Shaping Neighbourhoods - Character and Context (SPG, 2014)
  - Mayor of London: The Control of Dust and Emissions During Construction and Demolition (SPG, 2014)
  - Mayor of London: Transport Strategy (2018)
  - Mayor of London: Whole Life Carbon Assessments (LPG, 2022)

## Draft GLA guidance (emerging material considerations)

8. To support the London Plan 2021, the GLA has drafted further London Planning Guidance (LPG) on topic areas including:
- Mayor of London: Air Quality Neutral (draft)
  - Mayor of London: Fire Safety (draft)
  - Mayor of London: Optimising site capacity: a design-led approach (draft)
  - Mayor of London: Sustainable transport, walking and cycling (draft)
  - Mayor of London: Urban Greening Factor (draft)

## Southwark Plan

9. The Southwark Plan, published in February 2022, includes Strategic Policies, Area Visions and Development Management Policies. The most relevant strategic policies are as follows:
- ST1 - Southwark's Development Targets
  - ST2 - Southwark's Places
  - SP2 - Southwark Together
  - SP3 - A great start in life
  - SP4 - Green and inclusive economy

- SP5 - Thriving and neighbourhoods and tackling health equalities
- SP6 - Climate emergency
- Policy P13 - Design of places
- Policy P14 - Design quality
- Policy P16 - Designing out crime
- Policy P17 - Tall Buildings
- Policy P18 - Efficient use of land
- Policy P19 - Listed buildings and structures
- Policy P21 - Conservation of the historic environment and natural heritage
- Policy P23 - Archaeology
- Policy P28 - Access to employment and training
- Policy P35 - Town and local centres
- Policy P44 - Broadband and digital infrastructure
- Policy P49 - Public transport
- Policy P50 - Highway impacts
- Policy P51 - Walking
- Policy P53 - Cycling
- Policy P54 - Car parking
- Policy P55 - Parking standards for disabled people and the physically impaired
- Policy P56 - Protection of amenity
- Policy P59 - Green infrastructure
- Policy P60 - Biodiversity
- Policy P62 - Reducing waste
- Policy P64 - Contaminated land and hazardous substances
- Policy P65 - Improving air quality
- Policy P66 - Reducing noise pollution and enhancing soundscapes
- Policy P67 - Reducing water use
- Policy P68 - Reducing flood risk
- Policy P69 - Sustainability standards
- Policy P70 - Energy
- Policy IP3 - Community infrastructure levy (CIL) and Section 106 planning obligations
- Policy IP6 - Monitoring development
- Policy IP7 - Statement of Community Involvement

### Relevant Local-level Supplementary Planning Documents

10. The relevant supplementary planning documents and guidance documents from the local development plan are as follows:
- Design and Access Statements (SPD, 2007)
  - Section 106 Planning Obligations and Community Infrastructure Levy (SPD, 2015 with 2020 Update)
  - Sustainability Assessment (SPD, 2009)
  - Sustainable Design and Construction (SPD, 2009)

- Sustainable Transport (SPD, 2010)

### Southwark Area Action Plan

11. Draft Old Kent Road Area Action Plan (December 2020)

## APPENDIX 3

## Planning history of the site and nearby sites

## Property History

U.P.R.N 200003407684  
 Application 23/AP/0948  
 No  
 Address: 6-12 Verney Road London Southwark SE16 3DH  
 Date: 24 September 2024

Ref	Description	Status	Open Date DC=Rec'd Date (not valid date) Appeal=Rec'd Date BC=Rec'd Date Enf=Date of complaint	Closed Date DC=Decision Date(not Dec issued date) Appeal=Dec made on BC=Dec Date Enf=Closed Date
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## Planning Pre-Apps

21/EQ/0002	Pre-application advice for amendments to planning application reference 17/AP/4508 including an increase in residential units to 420 units, elevational adjustments to each building, a slightly widened floorplate for each block, balconies to be consolidated, basement layout downsized and refuse storage relocated.	APPRET	05.01.2021	27.05.2021
21/EQ/0003	Pre application advice for the installation of permanent signage at the pavillion structure, on the gangway and the ship.	EQC	07.01.2021	16.04.2021
22/EQ/0229	Pre application planning advice: (Planning Performance Agreement): Redevelopment of 6-12 Verney Road into a Multi-Storey Logistics Centre.	EQC	25.10.2022	18.01.2024
23/PPA/0002	Planning performance agreement order BL1030377 EAR No 100155	REC	11.01.2023	

24/PPA/0018	Planning performance agreement 24/25	PCO	10.05.2024	
17/EQ/0133	Redevelopment of site to provide 330 residential units together with retail and commercial floorspace	EQC	29.03.2017	20.12.2019

### Planning Applications

23/AP/0071	Request for an EIA Screening Opinion for demolition of existing buildings and structures on the Site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works.	SCR	11.01.2023	27.02.2023
23/AP/0948	Demolition of existing buildings and structures on the site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) plus part ground floor flexible Ea and/or Eb together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works (as revised on 29.02.2024 and 29.04.2024).	PCO	04.04.2023	
17/AP/4508	Redevelopment of the site for a mixed use development comprising three buildings (Building 1: basement, ground, ground mezzanine plus 17 storeys (AOD 66.975m); Building 2: basement, ground, ground mezzanine plus 22 storeys (AOD 81.975m); Building 3: basement, ground, ground	GRMAJ	29.11.2017	10.02.2022

mezzanine plus 16 storeys (AOD 62.675m) to accommodate 338 residential unit, 5,234 Sqm GEA of commercial floor space (Class B1(c)), associated cycle and car parking, servicing, refuse and recycling, landscaping including contribution towards the new Surrey Canal linear park, and private and communal residential amenity space and children's playspace. (This application represents a departure from strategic policy 10 'Jobs and businesses' of the Core Strategy (2011) and saved policy 1.2 'strategic and local preferred industrial locations' of the Southwark Plan (2007) by virtue of proposing to introduce residential accommodation in a preferred industrial location).

16/EQ/0307	Redevelopment of site for 550 residential units with retail and office floorspace at ground floor in buildings up to 34 storeys in height.	EQC	03.10.2016	17.05.2017
97/AP/1276	Demolition of existing timber storage shed and construction of single storey 7m high storage building	GRMIN	29.09.1997	21.11.1997
97/AP/0770	Change of use of building to use as an MOT station.	GRCOU	10.06.1997	01.08.1997
23/AP/0071	Request for an EIA Screening Opinion for demolition of existing buildings and structures on the Site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works.	SCR	11.01.2023	27.02.2023

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	accommodation in a preferred industrial location).			
16/EQ/0307	Redevelopment of site for 550 residential units with retail and office floorspace at ground floor in buildings up to 34 storeys in height.	EQC	03.10.2016	17.05.2017
08/AP/0411	Demolition of existing single storey prefabricated concrete office building and construction of a new three storey office building	INV	19.02.2008	20.10.2010
97/AP/1276	Demolition of existing timber storage shed and construction of single storey 7m high storage building	GRMIN	29.09.1997	21.11.1997
97/AP/0770	Change of use of building to use as an MOT station.	GRCOU	10.06.1997	01.08.1997
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23/AP/0948	Demolition of existing buildings and structures on the site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) plus part ground floor flexible Ea and/or Eb together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works (as revised on 29.02.2024 and 29.04.2024).	PCO	04.04.2023	
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16/EQ/0307	Redevelopment of site for 550 residential units with retail and office floorspace at ground floor in buildings up to 34 storeys in height.	EQC	03.10.2016	17.05.2017

97/AP/1276	Demolition of existing timber storage shed and construction of single storey 7m high storage building	GRMIN	29.09.1997	21.11.1997
97/AP/0770	Change of use of building to use as an MOT station.	GRCOU	10.06.1997	01.08.1997
23/AP/0071	Request for an EIA Screening Opinion for demolition of existing buildings and structures on the Site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works.	SCR	11.01.2023	27.02.2023
23/AP/0948	Demolition of existing buildings and structures on the site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) plus part ground floor flexible Ea and/or Eb together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works (as revised on 29.02.2024 and 29.04.2024).	PCO	04.04.2023	
17/AP/4508	Redevelopment of the site for a mixed use development comprising three buildings (Building 1: basement, ground, ground mezzanine plus 17 storeys (AOD 66.975m); Building 2: basement, ground, ground mezzanine plus 22 storeys (AOD 81.975m); Building 3: basement, ground, ground mezzanine plus 16 storeys (AOD 62.675m) to accommodate 338 residential	GRMAJ	29.11.2017	10.02.2022

unit, 5,234 Sqm GEA of commercial floor space (Class B1(c)), associated cycle and car parking, servicing, refuse and recycling, landscaping including contribution towards the new Surrey Canal linear park, and private and communal residential amenity space and children's playspace. (This application represents a departure from strategic policy 10 'Jobs and businesses' of the Core Strategy (2011) and saved policy 1.2 'strategic and local preferred industrial locations' of the Southwark Plan (2007) by virtue of proposing to introduce residential accommodation in a preferred industrial location).

16/EQ/0307	Redevelopment of site for 550 residential units with retail and office floorspace at ground floor in buildings up to 34 storeys in height.	EQC	03.10.2016	17.05.2017
97/AP/1276	Demolition of existing timber storage shed and construction of single storey 7m high storage building	GRMIN	29.09.1997	21.11.1997
97/AP/0770	Change of use of building to use as an MOT station.	GRCOU	10.06.1997	01.08.1997
23/AP/0071	Request for an EIA Screening Opinion for demolition of existing buildings and structures on the Site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works.	SCR	11.01.2023	27.02.2023
23/AP/0948	Demolition of existing buildings and structures on the site and redevelopment to	PCO	04.04.2023	

provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) plus part ground floor flexible Ea and/or Eb together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works (as revised on 29.02.2024 and 29.04.2024).

17/AP/4508	Redevelopment of the site for a mixed use development comprising three buildings (Building 1: basement, ground, ground mezzanine plus 17 storeys (AOD 66.975m); Building 2: basement, ground, ground mezzanine plus 22 storeys (AOD 81.975m); Building 3: basement, ground, ground mezzanine plus 16 storeys (AOD 62.675m) to accommodate 338 residential unit, 5,234 Sqm GEA of commercial floor space (Class B1(c)), associated cycle and car parking, servicing, refuse and recycling, landscaping including contribution towards the new Surrey Canal linear park, and private and communal residential amenity space and children's playspace. (This application represents a departure from strategic policy 10 'Jobs and businesses' of the Core Strategy (2011) and saved policy 1.2 'strategic and local preferred industrial locations' of the Southwark Plan (2007) by virtue of proposing to introduce residential accommodation in a preferred industrial location).	GRMAJ	29.11.2017	10.02.2022
16/EQ/0307	Redevelopment of site for	EQC	03.10.2016	17.05.2017

550 residential units with retail and office floorspace at ground floor in buildings up to 34 storeys in height.

97/AP/1276	Demolition of existing timber storage shed and construction of single storey 7m high storage building	GRMIN	29.09.1997	21.11.1997
23/AP/0071	Request for an EIA Screening Opinion for demolition of existing buildings and structures on the Site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works.	SCR	11.01.2023	27.02.2023
23/AP/0948	Demolition of existing buildings and structures on the site and redevelopment to provide an up to four storey building to accommodate industrial and logistics (Use Class B2, B8 and Class E(g)) plus part ground floor flexible Ea and/or Eb together with plant, landscaping, the formation of new accesses and alterations to existing accesses, associated vehicle and cycle parking and other associated works (as revised on 29.02.2024 and 29.04.2024).	PCO	04.04.2023	
17/AP/4508	Redevelopment of the site for a mixed use development comprising three buildings (Building 1: basement, ground, ground mezzanine plus 17 storeys (AOD 66.975m); Building 2: basement, ground, ground mezzanine plus 22 storeys (AOD 81.975m); Building 3: basement, ground, ground mezzanine plus 16 storeys	GRMAJ	29.11.2017	10.02.2022

(AOD 62.675m) to accommodate 338 residential unit, 5,234 Sqm GEA of commercial floor space (Class B1(c)), associated cycle and car parking, servicing, refuse and recycling, landscaping including contribution towards the new Surrey Canal linear park, and private and communal residential amenity space and children's playspace. (This application represents a departure from strategic policy 10 'Jobs and businesses' of the Core Strategy (2011) and saved policy 1.2 'strategic and local preferred industrial locations' of the Southwark Plan (2007) by virtue of proposing to introduce residential accommodation in a preferred industrial location).

17/AP/3760	EIA Screening Opinion in respect of the proposed development at 6-12 Verney Road. The proposals are for the construction of three buildings (of up to 16, 17 and 22 storeys, plus basement level beneath two of the buildings). The development would provide a total of 334 residential units, with circa 3,898 sqm of office space, 1,241 sqm of community use and 422 sqm of retail space. The development would also include hard and soft landscaping works, car parking and cycle parking in the basement	SCR	22.09.2017	16.10.2017
16/EQ/0307	Redevelopment of site for 550 residential units with retail and office floorspace at ground floor in buildings up to 34 storeys in height.	EQC	03.10.2016	17.05.2017
95/AP/0551	Erection of a single storey extension to printing workshop unit. Reg 95/551	GRMIN	08.06.1995	07.07.1995

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**Appeals**


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**Enforcement Matters**


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**Building Control Applications**


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19/IN/02162	New-Build construction of 3 mixed use towers over 14, 28 and 32 storeys above ground and Podium levels with circa 10,500 sq Ft retail shell, 33,700 sq ft office Cat A and approx. 347 Flats ( Mixture of 1,2 and 3 Bed)	ACC	23.12.2019	23.12.2019
22/INC/00019	New-build construction of 3 mixed use towers over 14, 28 and 32 storeys above ground and podium levels with circa 10,500 sq ft retail shell, 33,700 sq ft office Cat A and approx. 347 flats (mixture of 1, 2 and 3 bed )	INCAN	07.01.2022	07.01.2022

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## Consultation undertaken

**Site notice date:** 12/05/2023

**Press notice date:** 11/05/2023

**Case officer site visit date:** 12/05/2023

**Neighbour consultation letters sent:** 09/05/24 and 08/03/2024

### Internal services consulted

LBS Community Infrastructure Levy Team  
 LBS Transport Policy  
 LBS Design & Conservation Team [Formal]  
 LBS Design & Conservation Team [Surgery]  
 LBS Transport Policy  
 LBS Archaeology  
 LBS Design & Conservation Team [Formal]  
 LBS Local Economy  
 LBS Ecology  
 LBS Planning Enforcement  
 LBS Highways Development & Management  
 LBS Highways Licensing  
 Housing Regeneration and Delivery  
 LBS Flood Risk Management & Urban Drain  
 LBS Urban Forester  
 LBS Waste Management  
 LBS Ecology  
 LBS Ecology  
 LBS Design & Conservation Team [Formal]  
 formal consultation and response to Policy  
 LBS Ecology  
 LBS Environmental Protection  
 LBS Transport Policy  
 formal consultation and response to Policy  
 LBS Archaeology  
 LBS Community Infrastructure Levy Team  
 LBS Design & Conservation Team [Formal]  
 LBS Local Economy  
 LBS Ecology  
 LBS Environmental Protection  
 LBS Highways Development & Management  
 LBS Transport Policy  
 LBS Highways Licensing  
 formal consultation and response to Policy  
 LBS Flood Risk Management & Urban Drain  
 LBS Urban Forester  
 LBS Waste Management  
 LBS Design & Conservation Team [Formal]

LBS Ecology  
 formal consultation and response to  
 policy surgery comments  
 formal consultation and response to Policy  
 LBS Waste Management  
 LBS Urban Forester  
 LBS Transport Policy  
 LBS Flood Risk Management & Urban Drain  
 Housing Regeneration and Delivery  
 LBS Highways Licensing  
 LBS Highways Development & Management  
 LBS Environmental Protection  
 LBS Ecology  
 LBS Local Economy  
 LBS Design & Conservation Team [Formal]  
 LBS Archaeology  
 LBS Community Infrastructure Levy Team

### **Statutory and non-statutory organisations**

EDF Energy  
 Environment Agency  
 Great London Authority  
 Historic England  
 London Fire & Emergency Planning Authority  
 London Underground  
 Natural England - London & South East Region  
 Network Rail  
 Metropolitan Police Service (Designing Out Crime Officer)  
 Transport for London  
 Thames Water  
 Environment Agency  
 Great London Authority  
 London Fire & Emergency Planning Authority  
 Historic England  
 Metropolitan Police Service (Designing Out Crime Officer)  
 Transport for London  
 Thames Water  
 Thames Water  
 Transport for London  
 Metropolitan Police Service (Designing Out Crime Officer)  
 Network Rail  
 Natural England - London & South East Region  
 London Fire & Emergency Planning Authority  
 London Underground  
 Historic England  
 Great London Authority  
 Environment Agency

### **Neighbour and local groups consulted:**

Unit A 14 - 16 Verney Road London

L R C Logistics UK Ltd 14 - 16 Verney

Road London  
 Studio 50 Action House 53 Sandgate  
 Street  
 Studio 48 Action House 53 Sandgate  
 Street  
 Studio 47 Action House 53 Sandgate  
 Street  
 Studio 46 Action House 53 Sandgate  
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 Studio 45 Action House 53 Sandgate  
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 Studio 44 Action House 53 Sandgate  
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 Studio 43 Action House 53 Sandgate  
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 Studio 42 Action House 53 Sandgate  
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 Studio 41 Action House 53 Sandgate  
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 Studio 40 Action House 53 Sandgate  
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 Studio 39 Action House 53 Sandgate  
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 Studio 38 Action House 53 Sandgate  
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 Studio 37 Action House 53 Sandgate  
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 Studio 36 Action House 53 Sandgate  
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 Studio 35 Action House 53 Sandgate  
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 Studio 34 Action House 53 Sandgate  
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 Studio 33 Action House 53 Sandgate  
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 Studio 32 Action House 53 Sandgate  
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 Studio 31 Action House 53 Sandgate  
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 Studio 30 Action House 53 Sandgate  
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 Studio 29 Action House 53 Sandgate  
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 Studio 28 Action House 53 Sandgate  
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 Studio 26 Action House 53 Sandgate  
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 Studio 25 Action House 53 Sandgate  
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 Studio 24 Action House 53 Sandgate  
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 Studio 23 Action House 53 Sandgate

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 Studio 22 Action House 53 Sandgate  
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 Studio 21 Action House 53 Sandgate  
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 Studio 20 Action House 53 Sandgate  
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 Studio 19 Action House 53 Sandgate  
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 Studio 18 Action House 53 Sandgate  
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 Studio 17 Action House 53 Sandgate  
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 Studio 16 Action House 53 Sandgate  
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 Studio 15 Action House 53 Sandgate  
 Street  
 Studio 51 Action House 53 Sandgate  
 Street  
 Action House 53 Sandgate Street  
 London  
 Offices 14 - 16 Verney Road London  
 14 - 16 Verney Road London Southwark  
 Studio 49 Action House 53 Sandgate  
 Street  
 Studio 14 Action House 53 Sandgate  
 Street  
 Studio 13 Action House 53 Sandgate  
 Street  
 Studio 12 Action House 53 Sandgate  
 Street  
 Studio 11 Action House 53 Sandgate  
 Street  
 Studio 27 Action House 53 Sandgate  
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 Studio 10 Action House 53 Sandgate  
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 Studio 9 Action House 53 Sandgate  
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 Studio 8 Action House 53 Sandgate  
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 Studio 7 Action House 53 Sandgate  
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 Studio 6 Action House 53 Sandgate  
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 Studio 5 Action House 53 Sandgate  
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 Studio 4 Action House 53 Sandgate  
 Street  
 Studio 3 Action House 53 Sandgate  
 Street  
 Studio 2 Action House 53 Sandgate

Street  
 Studio 1 Action House 53 Sandgate  
 Street  
 Units 1 To 3 Wevco Wharf Sandgate  
 Street  
 10 Bumble House 387 Rotherhithe New  
 Road London  
 6 Bumble House 387 Rotherhithe New  
 Road London  
 4 Bumble House 387 Rotherhithe New  
 Road London  
 18 Bloom House 389 Rotherhithe New  
 Road London  
 15 Bloom House 389 Rotherhithe New  
 Road London  
 6 Bloom House 389 Rotherhithe New  
 Road London  
 4 Bloom House 389 Rotherhithe New  
 Road London  
 1 Bloom House 389 Rotherhithe New  
 Road London  
 20 Guild House 393 Rotherhithe New  
 Road London  
 16 Guild House 393 Rotherhithe New  
 Road London  
 10 Hepburn House 5 Verney Road  
 London  
 8 Hepburn House 5 Verney Road  
 London  
 5 Hepburn House 5 Verney Road  
 London  
 83 Chancellor House 395 Rotherhithe  
 New Road London  
 70 Chancellor House 395 Rotherhithe  
 New Road London  
 67 Chancellor House 395 Rotherhithe  
 New Road London  
 64 Chancellor House 395 Rotherhithe  
 New Road London  
 24 Chancellor House 395 Rotherhithe  
 New Road London  
 3 Chancellor House 395 Rotherhithe  
 New Road London  
 2 Chancellor House 395 Rotherhithe  
 New Road London  
 33 Ryder Drive London Southwark  
 8 Fallow Court Argyle Way London  
 Flat 21 Archers Lodge 17 Culloden  
 Close  
 2 Weybridge Court Argyle Way London  
 Flat 5 Archers Lodge 17 Culloden Close  
 Unit 2 To 3 57 Sandgate Street London  
 Unit 2 And Unit 3 Sandgate Trading  
 Estate Sandgate Street  
 Flat 9 Florence House 357 Rotherhithe  
 New Road  
 Flat 22 Archers Lodge 17 Culloden  
 Close  
 Flat 9 Archers Lodge 17 Culloden Close  
 Flat 8 Archers Lodge 17 Culloden Close  
 6 Fallow Court Argyle Way London  
 1 Argyle Way London Southwark  
 355 Rotherhithe New Road London  
 Southwark  
 7 Canal Grove London Southwark  
 8 Bumble House 387 Rotherhithe New  
 Road London  
 2 Bumble House 387 Rotherhithe New  
 Road London  
 17 Bloom House 389 Rotherhithe New  
 Road London  
 16 Bloom House 389 Rotherhithe New  
 Road London  
 2 Bloom House 389 Rotherhithe New  
 Road London  
 12 Hepburn House 5 Verney Road  
 London  
 7 Hepburn House 5 Verney Road  
 London  
 3 Hepburn House 5 Verney Road  
 London  
 1 Hepburn House 5 Verney Road  
 London  
 79 Chancellor House 395 Rotherhithe  
 New Road London  
 77 Chancellor House 395 Rotherhithe  
 New Road London  
 69 Chancellor House 395 Rotherhithe  
 New Road London  
 60 Chancellor House 395 Rotherhithe  
 New Road London  
 55 Chancellor House 395 Rotherhithe  
 New Road London  
 53 Chancellor House 395 Rotherhithe  
 New Road London  
 38 Chancellor House 395 Rotherhithe  
 New Road London  
 35 Chancellor House 395 Rotherhithe  
 New Road London  
 34 Chancellor House 395 Rotherhithe  
 New Road London  
 33 Chancellor House 395 Rotherhithe  
 New Road London  
 28 Chancellor House 395 Rotherhithe

New Road London  
 10 Chancellor House 395 Rotherhithe  
 New Road London  
 7 Chancellor House 395 Rotherhithe  
 New Road London  
 1 Fallow Court Argyle Way London  
 8 Canal Grove London Southwark  
 36 Ryder Drive London Southwark  
 4 Fallow Court Argyle Way London  
 22 Ryder Drive London Southwark  
 Flat 7 Archers Lodge 17 Culloden Close  
 9 - 11 Verney Road London Southwark  
 Unit 8 12 Verney Road London  
 Flat 16 Archers Lodge 17 Culloden  
 Close  
 10 Culloden Close London Southwark  
 21 Ryder Drive London Southwark  
 34 Ryder Drive London Southwark  
 Unit 5 To 6 57 Sandgate Street London  
 7 Bumble House 387 Rotherhithe New  
 Road London  
 23 Bloom House 389 Rotherhithe New  
 Road London  
 19 Bloom House 389 Rotherhithe New  
 Road London  
 18 Guild House 393 Rotherhithe New  
 Road London  
 12 Guild House 393 Rotherhithe New  
 Road London  
 9 Guild House 393 Rotherhithe New  
 Road London  
 20 Hepburn House 5 Verney Road  
 London  
 82 Chancellor House 395 Rotherhithe  
 New Road London  
 65 Chancellor House 395 Rotherhithe  
 New Road London  
 61 Chancellor House 395 Rotherhithe  
 New Road London  
 59 Chancellor House 395 Rotherhithe  
 New Road London  
 57 Chancellor House 395 Rotherhithe  
 New Road London  
 54 Chancellor House 395 Rotherhithe  
 New Road London  
 48 Chancellor House 395 Rotherhithe  
 New Road London  
 40 Chancellor House 395 Rotherhithe  
 New Road London  
 22 Chancellor House 395 Rotherhithe  
 New Road London  
 17 Chancellor House 395 Rotherhithe

New Road London  
 10 Verney Road London Southwark  
 2 Canal Grove London Southwark  
 Flat 6 Florence House 357 Rotherhithe  
 New Road  
 Flat 3 Florence House 357 Rotherhithe  
 New Road  
 Avicenna Health Centre 2 Verney Way  
 London  
 10 Fallow Court Argyle Way London  
 Flat 12 Archers Lodge 17 Culloden  
 Close  
 Flat 2 Archers Lodge 17 Culloden Close  
 12 Culloden Close London Southwark  
 5 Culloden Close London Southwark  
 Flat 11 Florence House 357 Rotherhithe  
 New Road  
 Flat 7 Florence House 357 Rotherhithe  
 New Road  
 Flat 4 Florence House 357 Rotherhithe  
 New Road  
 Flat 14 Archers Lodge 17 Culloden  
 Close  
 Flat 6 Archers Lodge 17 Culloden Close  
 4 Verney Road London Southwark  
 1 - 3 Verney Road London Southwark  
 20 Ryder Drive London Southwark  
 19 Ryder Drive London Southwark  
 37 Ryder Drive London Southwark  
 6 Canal Grove London Southwark  
 Unit 1 57 Sandgate Street London  
 9 Bumble House 387 Rotherhithe New  
 Road London  
 5 Bumble House 387 Rotherhithe New  
 Road London  
 3 Bumble House 387 Rotherhithe New  
 Road London  
 20 Bloom House 389 Rotherhithe New  
 Road London  
 14 Bloom House 389 Rotherhithe New  
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 12 Bloom House 389 Rotherhithe New  
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 8 Bloom House 389 Rotherhithe New  
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 5 Bloom House 389 Rotherhithe New  
 Road London  
 3 Bloom House 389 Rotherhithe New  
 Road London  
 11 Hepburn House 5 Verney Road  
 London  
 9 Hepburn House 5 Verney Road

London  
 6 Hepburn House 5 Verney Road  
 London  
 2 Hepburn House 5 Verney Road  
 London  
 71 Chancellor House 395 Rotherhithe  
 New Road London  
 63 Chancellor House 395 Rotherhithe  
 New Road London  
 52 Chancellor House 395 Rotherhithe  
 New Road London  
 32 Chancellor House 395 Rotherhithe  
 New Road London  
 16 Chancellor House 395 Rotherhithe  
 New Road London  
 12 Chancellor House 395 Rotherhithe  
 New Road London  
 Unit 1 12 Verney Road London  
 32 Ryder Drive London Southwark  
 Unit 9 12 Verney Road London  
 Flat 18 Archers Lodge 17 Culloden  
 Close  
 11 Culloden Close London Southwark  
 42 Ryder Drive London Southwark  
 40 Ryder Drive London Southwark  
 City Of London Sixth Form Academy 397  
 Rotherhithe New Road London  
 22 Bloom House 389 Rotherhithe New  
 Road London  
 11 Bloom House 389 Rotherhithe New  
 Road London  
 17 Guild House 393 Rotherhithe New  
 Road London  
 2 Guild House 393 Rotherhithe New  
 Road London  
 17 Hepburn House 5 Verney Road  
 London  
 81 Chancellor House 395 Rotherhithe  
 New Road London  
 75 Chancellor House 395 Rotherhithe  
 New Road London  
 72 Chancellor House 395 Rotherhithe  
 New Road London  
 62 Chancellor House 395 Rotherhithe  
 New Road London  
 58 Chancellor House 395 Rotherhithe  
 New Road London  
 47 Chancellor House 395 Rotherhithe  
 New Road London  
 43 Chancellor House 395 Rotherhithe  
 New Road London  
 42 Chancellor House 395 Rotherhithe  
 New Road London  
 41 Chancellor House 395 Rotherhithe  
 New Road London  
 27 Chancellor House 395 Rotherhithe  
 New Road London  
 25 Chancellor House 395 Rotherhithe  
 New Road London  
 6 Chancellor House 395 Rotherhithe  
 New Road London  
 5 Chancellor House 395 Rotherhithe  
 New Road London  
 5 Canal Grove London Southwark  
 Flat 17 Archers Lodge 17 Culloden  
 Close  
 Flat 10 Florence House 357 Rotherhithe  
 New Road  
 Flat 8 Florence House 357 Rotherhithe  
 New Road  
 20 - 26 Verney Road London Southwark  
 399 Rotherhithe New Road London  
 Southwark  
 Flat 5 Florence House 357 Rotherhithe  
 New Road  
 Flat 11 Archers Lodge 17 Culloden  
 Close  
 12 Weybridge Court Argyle Way London  
 24 Ryder Drive London Southwark  
 38 Ryder Drive London Southwark  
 9 Canal Grove London Southwark  
 3 Canal Grove London Southwark  
 Unit 4 Sandgate Trading Estate  
 Sandgate Street  
 Unit 4 12 Verney Road London  
 Unit 3 Sandgate Trading Estate  
 Sandgate Street  
 21 Bloom House 389 Rotherhithe New  
 Road London  
 7 Bloom House 389 Rotherhithe New  
 Road London  
 19 Guild House 393 Rotherhithe New  
 Road London  
 15 Guild House 393 Rotherhithe New  
 Road London  
 13 Guild House 393 Rotherhithe New  
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 7 Guild House 393 Rotherhithe New  
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 4 Guild House 393 Rotherhithe New  
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 3 Guild House 393 Rotherhithe New  
 Road London  
 15 Hepburn House 5 Verney Road

London  
 14 Hepburn House 5 Verney Road  
 London  
 76 Chancellor House 395 Rotherhithe  
 New Road London  
 66 Chancellor House 395 Rotherhithe  
 New Road London  
 51 Chancellor House 395 Rotherhithe  
 New Road London  
 50 Chancellor House 395 Rotherhithe  
 New Road London  
 46 Chancellor House 395 Rotherhithe  
 New Road London  
 39 Chancellor House 395 Rotherhithe  
 New Road London  
 37 Chancellor House 395 Rotherhithe  
 New Road London  
 23 Chancellor House 395 Rotherhithe  
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 21 Chancellor House 395 Rotherhithe  
 New Road London  
 15 Chancellor House 395 Rotherhithe  
 New Road London  
 13 Chancellor House 395 Rotherhithe  
 New Road London  
 11 Chancellor House 395 Rotherhithe  
 New Road London  
 25 Ryder Drive London Southwark  
 Flat 20 Archers Lodge 17 Culloden  
 Close  
 39 Ryder Drive London Southwark  
 Flat 23 Archers Lodge 17 Culloden  
 Close  
 16 Culloden Close London Southwark  
 1 Canal Grove London Southwark  
 Unit 2 12 Verney Road London  
 Flat 10 Archers Lodge 17 Culloden  
 Close  
 Unit 3 12 Verney Road London  
 Flat 3 Archers Lodge 17 Culloden Close  
 Flat 1 Archers Lodge 17 Culloden Close  
 14 Culloden Close London Southwark  
 2 Fallow Court Argyle Way London  
 41 Ryder Drive London Southwark  
 Unit 7 To 8 57 Sandgate Street London  
 1 Bumble House 387 Rotherhithe New  
 Road London  
 13 Bloom House 389 Rotherhithe New  
 Road London  
 5 Guild House 393 Rotherhithe New  
 Road London  
 16 Hepburn House 5 Verney Road

London  
 78 Chancellor House 395 Rotherhithe  
 New Road London  
 73 Chancellor House 395 Rotherhithe  
 New Road London  
 56 Chancellor House 395 Rotherhithe  
 New Road London  
 49 Chancellor House 395 Rotherhithe  
 New Road London  
 45 Chancellor House 395 Rotherhithe  
 New Road London  
 44 Chancellor House 395 Rotherhithe  
 New Road London  
 36 Chancellor House 395 Rotherhithe  
 New Road London  
 31 Chancellor House 395 Rotherhithe  
 New Road London  
 30 Chancellor House 395 Rotherhithe  
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 18 Chancellor House 395 Rotherhithe  
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 14 Chancellor House 395 Rotherhithe  
 New Road London  
 9 Chancellor House 395 Rotherhithe  
 New Road London  
 8 Chancellor House 395 Rotherhithe  
 New Road London  
 4 Chancellor House 395 Rotherhithe  
 New Road London  
 13 Culloden Close London Southwark  
 26 Ryder Drive London Southwark  
 9 Culloden Close London Southwark  
 7 Fallow Court Argyle Way London  
 Flat 15 Archers Lodge 17 Culloden  
 Close  
 15 Culloden Close London Southwark  
 Unit 7 12 Verney Road London  
 Unit 5 12 Verney Road London  
 Flat 4 Archers Lodge 17 Culloden Close  
 7 Culloden Close London Southwark  
 11 Fallow Court Argyle Way London  
 5 Fallow Court Argyle Way London  
 2 Argyle Way London Southwark  
 11 Weybridge Court Argyle Way London  
 4 Canal Grove London Southwark  
 Unit 4 57 Sandgate Street London  
 24 Bloom House 389 Rotherhithe New  
 Road London  
 10 Bloom House 389 Rotherhithe New  
 Road London  
 9 Bloom House 389 Rotherhithe New  
 Road London

14 Guild House 393 Rotherhithe New Road London  
 11 Guild House 393 Rotherhithe New Road London  
 10 Guild House 393 Rotherhithe New Road London  
 8 Guild House 393 Rotherhithe New Road London  
 6 Guild House 393 Rotherhithe New Road London  
 1 Guild House 393 Rotherhithe New Road London  
 19 Hepburn House 5 Verney Road London  
 18 Hepburn House 5 Verney Road London  
 13 Hepburn House 5 Verney Road London  
 4 Hepburn House 5 Verney Road London  
 84 Chancellor House 395 Rotherhithe New Road London  
 80 Chancellor House 395 Rotherhithe New Road London  
 74 Chancellor House 395 Rotherhithe New Road London  
 68 Chancellor House 395 Rotherhithe New Road London  
 29 Chancellor House 395 Rotherhithe New Road London  
 26 Chancellor House 395 Rotherhithe New Road London

20 Chancellor House 395 Rotherhithe New Road London  
 19 Chancellor House 395 Rotherhithe New Road London  
 1 Chancellor House 395 Rotherhithe New Road London  
 7 Verney Road London Southwark  
 1 Weybridge Court Argyle Way London  
 Flat 13 Archers Lodge 17 Culloden Close  
 Flat 2 Florence House 357 Rotherhithe New Road  
 Flat 1 Florence House 357 Rotherhithe New Road  
 43 Ryder Drive London Southwark  
 Unit 6 12 Verney Road London  
 Flat 12 Florence House 357 Rotherhithe New Road  
 Flat 19 Archers Lodge 17 Culloden Close  
 8 Culloden Close London Southwark  
 6 Culloden Close London Southwark  
 9 Fallow Court Argyle Way London  
 3 Fallow Court Argyle Way London  
 30 Ryder Drive London Southwark  
 23 Ryder Drive London Southwark  
 35 Ryder Drive London Southwark  
 John Keats Primary School 391 Rotherhithe New Road London  
 389 Rotherhithe New Road 7 Bloom House London

**Re-consultation: sent on 08/03/2024**



## Consultation responses received

### Internal services

LBS Community Infrastructure Levy Team  
 LBS Transport Policy  
 LBS Design & Conservation Team [Formal]  
 LBS Design & Conservation Team [Surgery]  
 LBS Transport Policy  
 LBS Archaeology  
 LBS Design & Conservation Team [Formal]  
 LBS Local Economy  
 LBS Ecology  
 LBS Highways Development & Management  
 LBS Urban Forester  
 LBS Ecology  
 LBS Ecology  
 LBS Design & Conservation Team [Formal]  
 formal consultation and response to Pol  
 LBS Ecology  
 LBS Environmental Protection  
 LBS Transport Policy  
 formal consultation and response to Pol  
 LBS Archaeology  
 LBS Community Infrastructure Levy Team  
 LBS Design & Conservation Team [Formal]  
 LBS Ecology  
 LBS Environmental Protection  
 LBS Transport Policy  
 formal consultation and response to Pol  
 LBS Urban Forester  
 LBS Design & Conservation Team [Formal]  
 LBS Ecology  
 formal consultation and response to Pol  
 policy surgery comments  
 formal consultation and response to Pol  
 LBS Urban Forester  
 LBS Transport Policy  
 LBS Highways Development & Management  
 LBS Environmental Protection  
 LBS Ecology  
 LBS Design & Conservation Team [Formal]  
 LBS Archaeology  
 LBS Community Infrastructure Levy Team

### Statutory and non-statutory organisations

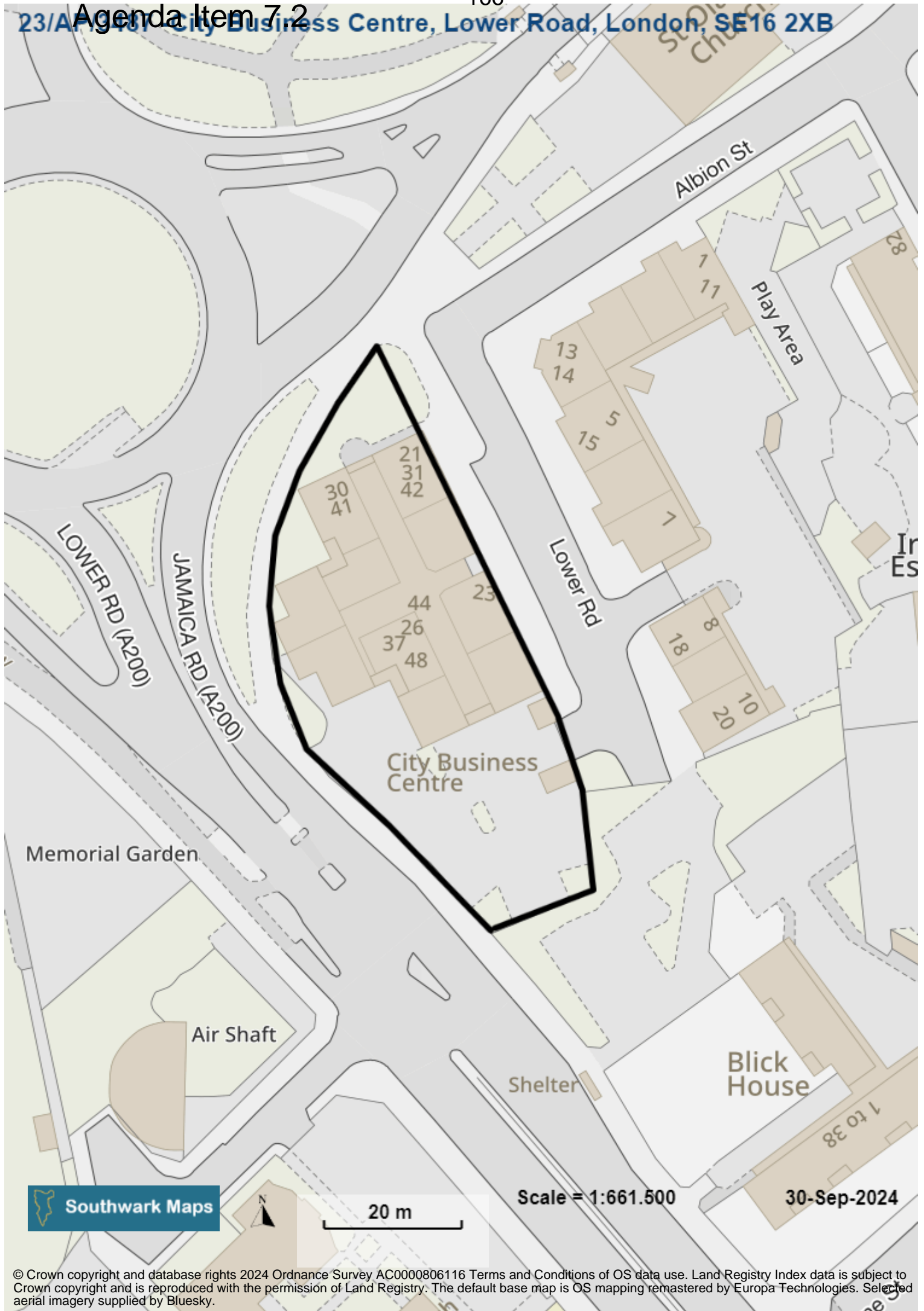
Environment Agency  
 Historic England  
 London Fire & Emergency Planning Authority

London Underground  
Network Rail  
Metropolitan Police Service (Designing Out Crime Officer)  
Thames Water  
Metropolitan Police Service (Designing Out Crime Officer)  
Metropolitan Police Service (Designing Out Crime Officer)

**Neighbour and local groups consulted:**

Flat 2 Archers Lodge 17 Culloden Close London  
10 Culloden Close London Southwark  
4 Guild House 393 Rotherhithe New Road London  
70 Chancellor House London SE13fp  
70 Chancellor House London SE163fp  
7 bloom house 389 Rotherhithe New Road London  
11 Fern Walk London SE16 3Jd  
11 Weybridge Court Argyle Way London  
14-16 Verney Road Bermondsey SE16 3DH  
Chancellor House London SE16 3FP  
6 Bloom House London SE16 3FN  
18 Holywell Close London  
4 Verney Road London SE16 3DH  
4 Guild House 393 Rotherhithe new road London  
1 Varcoe Road London SE16 3FS  
4 Guild House, SE16 3FN  
6 Bloom House 389 Rotherhithe New Road London  
7 Bloom House 389 Rotherhithe New Road LONDON  
7 Bloom House 389 Rotherhithe New Road London  
389 Rotherhithe New Road 7 Bloom House London

23/Air Shaft City Business Centre, Lower Road, London, SE16 2XB



## Contents

Contents .....	1
EXECUTIVE SUMMARY .....	3
BACKGROUND INFORMATION .....	4
Site location and description .....	4
Details of proposal.....	5
Planning history of the site, and adjoining or nearby sites.....	6
KEY ISSUES FOR CONSIDERATION .....	7
Summary of main issues .....	7
Legal context.....	7
Planning policy .....	8
ASSESSMENT .....	9
Principle of the proposed development in terms of land use .....	9
Environmental impact assessment.....	12
Heritage.....	12
Archaeology .....	19
Quality of residential accommodation.....	19
Fire Safety.....	23
Landscaping, urban greening and biodiversity .....	24
Impact of proposed development on amenity of adjoining occupiers and surrounding area.....	25
Transport and highways .....	29
Environmental matters .....	29
Energy and sustainability .....	31
Planning obligations (S.106 agreement) .....	33
Mayoral and borough community infrastructure levy (CIL) .....	38
Community involvement and engagement .....	38
Consultation responses from members of the public and local groups .....	38
Community impact and equalities assessment .....	40
Human rights implications .....	41
Positive and proactive statement.....	41
Positive and proactive engagement: summary table .....	42
CONCLUSION.....	42
BACKGROUND DOCUMENTS .....	42

APPENDICES.....	42
AUDIT TRAIL.....	43

<b>Meeting Name:</b>	Planning Committee (Major Applications) A	
<b>Date:</b>	8 October 2024	
<b>Report title:</b>	<p><b>Development Management planning application:</b> Application 23/AP/3487 for: Full Planning Application</p> <p><b>Address:</b> City Business Centre (St Olav's Court), Lower Road London, SE16 2XB</p> <p><b>Proposal:</b> Demolition of existing buildings and redevelopment to provide one mixed-use building of up to 17 storeys in height, with a single basement, comprising 216 purpose-built shared living units and communal amenity space (Sui Generis) and 1,517 square meters of commercial floorspace (Use Class E), and one mixed-use building of up to 10 storeys in height, with a single basement, comprising 24 homes and communal amenity space (Use Class C3) and 149.6 square meters of commercial floorspace (Use Class E); and public realm, including play space, as well as other associated works.</p>	
<b>Ward(s) or groups affected:</b>	Rotherhithe	
<b>Classification:</b>	Open	
<b>Reason for lateness (if applicable):</b>	Not Applicable	
<b>From:</b>	Director of Planning and Growth	
<b>Application Start Date:</b> 1 February 2024	<b>PPA Expiry Date:</b> 31 October 2024	
<b>Earliest Decision Date:</b>		

## RECOMMENDATIONS

1. That planning permission is granted subject to conditions, the applicant entering into an appropriate legal agreement, and referral to the Mayor of London.
2. In the event that the requirements of paragraph 1 above are not met by 28 February 2025 the director of planning and growth, be authorised to refuse planning permission, if appropriate, for the reasons set out in paragraph 133.

## EXECUTIVE SUMMARY

Use class	Existing sqm	Proposed sqm	Change +/-
Use Class C3	0	2,088	+2,088

Sui Generis (Co living)	0	5,941	+5,941
Use Class E	2,197	1,667	-530

CO2 Savings beyond part L Bldg. Regs 2021	
Residential	Be Lean 4.8 Be Clean 0 Be Green 15.6
Non-residential	Be Lean 1.2 Be Clean 0 Be Green 7.2

	Existing	Proposed	Change +/-
Public realm	0	694sqm	+694sqm
Play space	0	600sqm	600sqm
Urban Greening Factor	NA	0.42	N/A
Greenfield Run Off Rate	15.45l/s	0.86l/s	-14.6l/s
Green roof	TBC		
Trees	TBC		
Disabled car parking spaces	0	1	+1
Cycle parking spaces	Not known		285

CIL (estimated)	TBC
MCIL (estimated)	TBC
CIL Social Housing Relief (estimated)	TBC
Total (estimated)	TBC
S106	See table under Planning Obligations sub heading.

## BACKGROUND INFORMATION

### Site location and description

- The site is located on the southeast corner of the Rotherhithe Tunnel roundabout, fronting the junctions of Lower Road and the Rotherhithe Tunnel. To the north of the site on the opposite side of the roundabout, there is a mix of residential homes and commercial uses and Kings Stairs Gardens, designated Metropolitan Open Land (MOL) and Site of Importance for Nature Conservation (SINC). To the west of the site across Lower Road is Southwark Park, designated MOL and SINC.
- Immediately to the east of the site is Albion Street are existing commercial

businesses that sit within the St Olav's Business Park allocated for re-development under Southwark Plan site allocation 'NSP79' but outside of the red line boundary for this planning application. Immediately to the south is Christopher Jones Square designated Other Open Space (OOS). The surrounding areas to the east and south include a mix of residential homes and commercial uses.



*Site boundary outlined in red*

5. The application site has a Public Transport Accessibility Level (PTAL) of 5/6, and is within walking distance from Canada Water tube station, Surrey Quays station, Rotherhithe station and Bermondsey tube station. Canada Water Major Town centre is located approximately 300 metres to the southeast of the site.
6. The existing building on site is a 3-storey business centre with deck access circulation running through the centre of the building. There is an existing gated surface level car park on the southern part of the site adjoining Christopher Jones Square. There are mature trees and shrubbery around the southern perimeter of the existing car park and fronting onto Lower Road.

### **Details of proposal**

7. Full planning permission is sought for the demolition of the existing building and construction of two new buildings that would deliver 216 purpose built shared living (co-living) rooms (Sui Generis) and 24 conventional affordable residential homes (Use Class C3). A new pedestrian street is proposed through the centre of the site including enhanced public realm and play space, in addition to space for one disabled car-parking bay dedicated to a residential home in the affordable housing building.
8. The co-living building would be located on the northern part of the site and would be 17 storeys tall (ground plus 16 floors) plus rooftop plant and screen adding an



additional storey height. The building would measure 61.8 metres AOD to the top of the plant screen and 64.3 metres AOD to the top of the life overrun. The building would step down to 9 storeys and then to 8 storeys towards the centre of the site.

9. The residential building would be located on the southern part of the site and would be 10 storeys tall (ground plus 9 floors) and measure 32.7 metres AOD to the top of the parapet. An access lobby to the roof top garden would be provided above the ninth floor, measuring 38 metres AOD to the top of the life overrun.



### *Proposal*

10. Replacement Class E employment floor space is proposed at ground floor of the residential building, and ground and first floor of the co-living building in addition to an area of dedicated co-working space associated with the co-living use.
11. Upgrades are proposed to the neighbouring Christopher Jones Square including the provision of a new play space, in addition to upgrades to the existing highway adjoining the eastern site boundary, to accommodate servicing and delivery requirements and urban greening. These works would need to be secured through a S106 legal agreement.

### **Planning history of the site, and adjoining or nearby sites.**

12. Relevant planning history for the application site includes:
  - **Application Ref: 05/AP/1461** 'Change of use from offices [within Use Class B1a] to use as a medical screening centre [within Use Class D1].'  
Approved 17.10.2005

- **Application Ref: 06/AP/1202** 'Change of use from Class B1 (offices/light industrial) to Class D1 (Medical Centre).' Approved 04.01.2007
- **Application Ref: 10/AP/2471** 'Partial change of use of ground floor from Class B1 (offices) to Class D1 purposes (adult education).' Approved 12.01.2011
- **Application Ref: 13/AP/4522** 'Change of use from Office (Use Class B1) to Dental Practice (Use Class D1)' Approved 23.04.2014

13. Any decisions that are significant to the consideration of the current application are referred to within the relevant sections of the report. A full history of decisions relating to this site and other nearby sites, is provided in Appendix 3 of this report.

## KEY ISSUES FOR CONSIDERATION

### Summary of main issues

14. The main issues to be considered in respect of this application are:
- Principle of the proposed development in terms of land use;
  - Environmental impact assessment
  - Heritage;
  - Urban design;
  - Landscaping, urban greening and ecology;
  - Impact of proposed development on amenity of adjoining occupiers and surrounding area;
  - Transport and highways;
  - Archaeology;
  - Fire Safety;
  - Environmental matters;
  - Energy and sustainability;
  - Planning obligations (S.106 undertaking or agreement)
  - Mayoral and borough community infrastructure levy (CIL)
  - Consultation responses and community engagement
  - Community impact, equalities assessment and human rights
15. These matters are discussed in detail in the 'Assessment' section of this report.

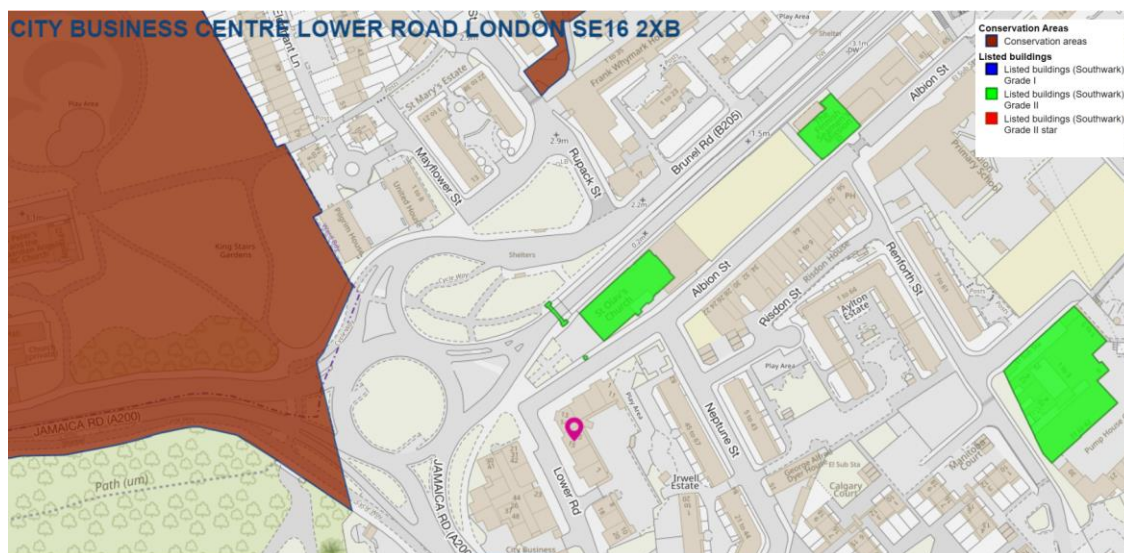
### Legal context

16. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance, the development plan comprises the London Plan 2021 and the Southwark Plan 2022. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires decision-makers determining planning applications for development within Conservation Areas to pay special attention to the desirability of preserving or enhancing the character or appearance of that area. Section 66 of the Act also requires the Authority to pay special regard to the desirability of preserving listed buildings and their setting or any features of special architectural or historic interest, which they possess.
17. There are also specific statutory duties in respect of the Public Sector Equalities Duty, which are highlighted in the relevant sections below and in the overall

assessment at the end of the report.

## **Planning policy**

18. The statutory development plan for the Borough comprise the London Plan 2021 and the Southwark Plan 2022. The National Planning Policy Framework 2023 and emerging policy documents constitute material considerations but are not part of the statutory development plan. The NPPF states that by law, applications for planning permission should be determined in accordance with the development plan, unless material considerations indicate otherwise.
19. The NPPF places 'a presumption in favour of sustainable development' at the heart of the framework, and sets out a number of key principles to support economic growth, delivery homes the met the needs of present and future generations, and protect our natural, built and historic environment. The relevant parts of the NPPF are considered throughout this report.
20. A list of policies relevant to this application are provided in Appendix 2 of this report. Any policies that are particularly relevant to the consideration of this application are highlighted below and within the Assessment section of this report.
21. The site is subject to the following planning policy designations:
  - Site Allocation NSP79 'St Olav's Business Park, Lower Road'
  - Area Vision for Rotherhithe;
  - Canada Water Area Action Core and Opportunity Area;
  - Canada Water Strategic Heating Area;
  - London View Management Framework Wider Setting Consultation Area for Greenwich Park Wolfe statue to Tower Bridge;
  - London Views Management Framework Extended background vista for Primrose Hill summit to St Paul's Cathedral;
  - Air Quality Management Area;
  - Hot food takeaway secondary school exclusion zone.
22. The site is within Flood Zone 3 as identified by the Environment Agency flood map, which indicates a high probability of flooding. The site benefits from protection by the Thames Barrier.
23. The site is not listed or in a conservation area however, St Olav's Kirke (Norwegian church), The Finnish church, Southwark Park Registered Park and Garden, the Edward III's Rotherhithe Conservation Area (CA) and associated listed buildings and the St Mary's Rotherhithe CA and associated listed buildings.



Heritage context

## ASSESSMENT

### Principle of the proposed development in terms of land use

24. The principle of re-developing this site is supported by Southwark Plan site allocation NSP79. The following section assesses the acceptability of the various proposed land uses against relevant planning policy and the site allocation requirements, which are set out below.
25. The allocation sets out that redevelopment of the site must provide at least the amount of employment floorspace (E(g)) currently on site, increase permeability across the site and deliver high quality public realm at the centre and at the confluence of three routes:
  1. from Christopher Jones Square open space to the south; and
  2. the crossing to Southwark Park; and
  3. the retail frontage on Albion Street
26. The allocation also sets out that redevelopment of the site should provide new homes (C3) and active frontages at ground floor level. The allocation sets an indicative residential capacity of 125 homes across the entire site.
27. The intention of the allocation was for the site to be comprehensively developed, as set out in the site allocation 'Design and accessibility guidance.' However, this planning application covers just less than half of the site allocation area. On this basis, we would expect a minimum of half of the site allocation requirements to be delivered as part of this planning application. The applicant has undertaken a wider masterplan exercise to demonstrate that the remaining allocation could come forward for redevelopment and deliver additional employment floorspace and improved connectivity and permeability, which is a key requirement of the allocation.

#### Class E(g) employment floorspace

28. Chapter 6 of the NPPF states that planning decisions should help to create conditions in which businesses can invest, expand and adapt. It states that significant weight should be placed on the need to support economic growth and

productivity, taking into account both local business needs and wider opportunities for development.

29. Southwark Plan Strategic Policy SP4 sets a target of delivering 460,000sqm of new office floorspace between 2019 and 2036 (equating to c.35, 500 jobs) The application site is within the Canada Water Opportunity area, which is targeted to 20,000 of these new jobs over the plan period. London Plan Strategic Policy GG5 states that development must promote the strength and potential of the wider city region, seek to ensure that London's economy diversifies and that the benefits of economic success are shared more equitably across London, and plan for sufficient employment space in the right locations to support economic development and regeneration.
30. The site allocation NSP79 requires redevelopment of the site to provide at least the amount of employment floorspace (E(g)) currently on site. Southwark Plan Policy P30 protects against the loss of existing employment floor space in opportunity areas and site allocations, promoting the provision of a range of employment uses alongside other uses including housing. London Plan Policy E1 supports improvements to the quality, flexibility and adaptability of office space through new office provision, refurbishment and mixed-use development. Therefore, the principle of delivering Class E(g) floorspace as part of this planning application is supported.
31. The proposal would result in an overall reduction Class E(g) floorspace compared to the existing provision, contrary to NSP79 and Policy P30. This is due to the delivery of other uses on the site for residential and purpose built shared living purposes. The overall reduction in employment floor area would be 530.4 sqm (GIA), reducing from 2197sqm (GIA) existing to 1666.6 sqm (GIA) proposed.
32. A financial contribution would be sought towards training and jobs for local people, to mitigate the loss of employment floor area, in accordance with part 3 of Policy P30.

#### Affordable workspace

33. The commercial element within block A which houses the shared living element will be dedicated to be affordable workspace; a total of 166sqm will be required to be provided at a 25% discount to market rents for a period of 30 years.

#### Class C3 residential homes

34. Chapter 5 of the NPPF states that the overall aim of delivering a sufficient supply of homes should be to meet as much of an area's identified housing need as possible, including with an appropriate mix of housing types for the local community, including affordable homes.
35. Southwark Plan Strategic Policy SP1 sets a target of delivering at least 40,035 homes over the plan period and places an emphasis on the delivery of affordable homes and family homes that maintain a high quality of accommodation and sustainable design. London Plan Strategic Policy GG5

supports the creation of mixed and inclusive communities, with good quality homes that meet high standards of design and provide for identified needs, and the delivery of genuinely affordable new homes.

36. The allocation supports the delivery of C3 residential homes as part of the site's redevelopment. London Plan Policy H1 supports the delivery of housing on all suitable and available brownfield sites, including those that are highly accessible; which this application site is. Therefore, the principle of delivering C3 residential homes as part of this planning application is supported.
37. The application proposes to deliver 24 new homes that would be 100% affordable, including a mix of social rent and intermediate tenures in accordance with Southwark Plan Policy P1. This is discussed in more detail below under the affordable housing subheading.
38. The application proposes a policy compliant mix of unit sizes in accordance with Southwark Plan Policy P2. The application does not propose any 1 bed or studio unit therefore, 100% of the homes would have 2 or more bedrooms, including a mix of 3 person and 4 person 2 bedroom homes. The application proposes 16 homes with 3 or more bedrooms (family homes) which exceeds the minimum requirement of 20% set out by Policy P2. All of these homes have access to a private balcony in accordance with the policy. The proposed unit mix is summarised in the table below. The residential quality in terms of unit size and design is discussed later in this report under the 'quality of residential accommodation' heading.

Type	SL Type A	SL Type B	SL Type C Oversized	SL Type D Mobility 1	SL Type E Mobility 2	2B 4P	2B 3P Mobility	3B 4P	4B 6P	336
Hab Rooms	1	1	1	1	1	4	4	5	6	
Total Units	12	150	30	12	12	5	3	8	8	
<b>Total Hab Rooms</b>	<b>12</b>	<b>150</b>	<b>30</b>	<b>12</b>	<b>12</b>	<b>20</b>	<b>12</b>	<b>40</b>	<b>48</b>	
<b>Total by tenure</b>	<b>216</b>					<b>120</b>				
Percentage of Hab Rooms	64.3%					35.7%				

#### Sui Generis Purpose build shared living (co-living)

39. The proposal for 216 co-living units (Sui Generis) would be in addition to the site allocation requirements. The principle of this use is supported by London Plan Policy H16, which recognises that this type of development can provide a housing option for single person households, as an alternative to self-contained homes or houses of multiple occupancy. The Policy sets out that co-living development is not intended for a particular group or to meet a specific need and can be defined as non-self-contained market housing (Sui Generis). The expectation is for tenancies to be secured for a minimum of three months to prevent the development operating as a hostel. This would be secured through a S106 legal agreement.
40. This planning application has satisfied the site allocation requirements in terms of land use; delivering employment floorspace and conventional residential housing. Therefore, the proposal to deliver co-living rooms is supported in principle, and this site is considered a suitable location for this alternative type

of housing. An assessment of the quality of the co-living element in meeting the minimum design and accessibility standards, as required by London Plan Policy H16 and the adopted Large-scale purpose-built shared living (LSPBSL) London Plan Guidance (LPG), is below.

### Affordable Housing

41. London Plan Policy H16 recognises the need for purpose built shared living development to contribute towards affordable housing provision through a financial contribution, based on a 50 per cent discount to market value of 35 per cent of the units. Southwark Plan Policy P6 requires purpose built shared living development to provide the maximum amount (with a minimum of 35%) conventional affordable housing by habitable room subject to viability, in accordance with Southwark Plan Policy P4. This requires a minimum of 15% social rent affordable homes and a minimum of 20% affordable rent capped at London Living Rent equivalent.
42. To meet this requirement, the applicant is proposing to deliver the 24 conventional residential homes on site as affordable, equivalent to 35% of the co-living development based on habitable room count. In addition, they are proposing a payment in lieu of £1.4 million, based on £100,000 per habitable room and would the overall contribution equivalent to 40% affordable housing. The council's viability consultant has advised that this is the maximum reasonable contribution from the proposal.

### **Environmental impact assessment**

43. The development does meet any of the criteria for an EIA scheme under Schedules 1 and 2 of the regulations.

### **Heritage**

44. The legislation governing listed buildings and conservation areas is the Planning (Listed Buildings and Conservation Areas) Act 1990 ('the Act'). Section 66 (2) of the Act requires decision makers, with respect to any listed building or their setting, to have special regard to the desirability of preserving the building or any features of special architectural or historic interest which it possesses. Section 72(1) of the Act requires decision makers, with respect to any buildings or other land in a conservation area, to pay 'special attention[...] to the desirability of preserving or enhancing the character or appearance of that area'
45. Paragraphs within chapter 16 of the NPPF 2023 'Conserving and enhancing the historic environment' are of material consideration. In particular, para. 205 requires "great weight" to be given to the assets conservation irrespective of any harm. Para 206 requires any harm or loss should require clear and convincing justification. Para 208 advises that "Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use."
46. Southwark Plan Policies P19 and P20 require proposals to sustain and enhance the significance of listed buildings and conservation areas and both of their

settings. Policy P26 requires development to take into account locally listed buildings and structures that positively contribute to local character and amenity, with regard to design issues.

#### Impact on heritage assets

47. The property is not statutory listed and not located in a conservation area. The existing building is not locally listed and is not considered an undesignated heritage asset. Its demolition would not be resisted for a high-quality replacement development.  
The site is located within the Protected Vista of LVMF View 5A.2 from Greenwich Park which extends across part of the site at 30m AOD and close to a number of merit
48. The site is close to a number of heritage assets including the statutory listed St Olav's Church on Albion Street and the Rotherhithe Tunnel entrance (Grade II) as well as the Grade II registered Southwark Park. In addition, there are two nearby conservation areas: the King Edward III's and St Mary's Rotherhithe Conservation Areas. Due to its height and siting, the development is likely to affect the settings of these designated heritage assets. The site is also located within the Protected Vista of LVMF View 5A.2 from Greenwich Park which extends across part of the site at 30m AOD.
49. The Heritage TVIA submitted with the application includes a number of views that demonstrate how the new development will interact with these sensitive heritage receptors. In addition, the heritage protections in the London Plan affecting this site relate mainly to the LVMF View 5A.2. Taking each heritage impact in turn and working from the furthest viewpoints:
50. The northern end the of the site is outside the Wider Setting Consultation Area of the Protected Vista and this is where the tallest element of the development is located. The Heritage TVIA demonstrates that the development will be largely obscured by the taller buildings in the Canada Water Masterplan which are in the foreground and also located outside the Protected Vista. There is no impact on this protected LVMF View.





51. In the wider area, the Heritage TVIA demonstrates in Views 14, 15, 17, 19, 20 from St Mary's Rotherhithe that there is likely to be some visibility from St Mary's Rotherhithe but that this will be incidental and appear mainly in the middle background. These incidental incursions do not give rise to any harm to the significance of the conservation area and its setting and will appear as glimpses of the city beyond the mature landscaped setting of the conservation area.
52. Views 12 from Jamaica Road and 13 from King Stairs Gardens which take in the King Edward II Conservation Area similarly demonstrate that the taller building is likely to be visible from within the conservation area in the middle background. These views do not affect any appreciation of the significant features of the Conservation Area – centred on the King Edward II's Manor House and the River frontage – and demonstrate that the viewer will get glimpses of the taller element. These glimpses of the scheme do not give rise to any harm to the significance of the conservation area or its setting
53. When we consider the impact of the proposal on Southwark Park the Heritage TVIA views 11 (from the main entrance) View 10 (from the Bandstand) and View 18 (from the China Hall Gate) demonstrate that, whilst the scheme will be in full view from the pavement, the mature tree-filled landscape of the park will mean that the development disappears from view as soon as one enters the park and is invisible at the locations of highest significance. Accordingly it is considered that there is no harm arising to the setting of the Grade II registered Southwark Park.
54. The Heritage TVIA rightly focusses on the effect of the development on its nearest designated heritage assets: the St Olav's Kirke on Albion Street and the Rotherhithe Tunnel entrance. A full appreciation of the scheme in the round is

presented in views 4 and 5 in the approach along Albion Street where the flank of the church is seen together with the development:



55. In this view the way that the tower has been set-back from the edge of the site ensures that there is separation between the church and the tower. The broad flank and repeated fenestration of the building is only broken by the further set-back at the top floor. The view demonstrates that there is a low level of Less than Substantial Harm arising to the setting of the church. This is mainly due to the sheer scale and unrelenting character of the design in this view and tempered only by the fact that this is an incidental flank / rear view of the church and not one where the view is able to appreciate the full significance of the building.
56. View 16 which includes the dep trench of the Rotherhithe Tunnel Approach in the foreground and the flank of the church gives rise to a very low level of Less Than Substantial Harm. This is similarly tempered by the tree-lined foreground and the mixed character of the view.



57. Finally a series of views taken from various locations on the Jamaica Road / Lower Road roundabout including View 21 and modelled Views 22, 23, 24, 25 and 26 show the development in its most stark relationship with the church.



58. This series of views include the more distant towers in the Canada Water Area located around the Basin. In these views the tower presents a strong counterpoint to the diminutive church with its spire. It is a characterful view of the church and one which gives the viewer a strong appreciation of the church (as well as its recently enhanced front garden) and its setting.

59. The setting of the church has changed significantly over time and most recently when the roundabout was installed in the 1980s. In the view the development appears to echo the form of the church with a broad base and an articulated 'spire'. Whilst the setting is substantially altered by the development the separation between the development and the church as well as the set-back top, and chamfered profile of the tower ensure that it appears more slender echoing the proportions of the church spire.
60. In these views there is a medium level of Less than Substantial Harm arising to the setting of the St Olav's Kirke. This harm is tempered by the mixed character of the setting which is dominated at the moment by the traffic-dominated roundabout which separates the viewer from the church and the fact that the tower remains separate from the church at all times. A further consideration on the level of the harm is based on the quality of the design and the efforts of the architects to ensure that the development appears more slender with vertical proportions that match those of the church spire.

#### Heritage Conclusion

61. As noted above, some heritage harm is considered to arise due to this development. In accordance with the NPPF decision-makers are directed to take account of the desirability sustaining and enhancing the significance of heritage assets and their settings and avoid any harm. When considering any harm LPAs are required by para 205 to assess the magnitude of that harm. In this case it is considered to be low-medium Less than Substantial Harm to the setting of St Olav's Kirke arising due to the proximity of the tower in closer views and main approaches to the church. The harm is tempered to a degree by the design of the tower which is highly articulated in some views.
62. In para 208 of the NPPF decision-makers are directed to avoid harm and, where this has been identified, to consider it in the balance against any public benefits arising. The NPPF is clear that harm should be exceptional and should be justified convincingly by truly public benefits. In this case the public benefits that could be considered in the balance include the public realm improvements around the site and the new route across the site being delivered by the development, the affordable housing and affordable workspace, as well as enhancements to the nearby public spaces.

#### Urban design and architectural design

63. As a tall building the development would need to conform with the council's adopted tall buildings policy including principally, whether it is appropriately located, the public realm and landscape provided, the exemplary quality of the design and its contribution to the London skyline. Taking each of these in turn:
64. The site is located at the confluence of a number of key routes and a major river crossing. Its axial relationship with Jamaica Road and Lower Road which converge on this location as well as the nearby Underground Station and the Rotherhithe Tunnel ensure that this is a local destination where a tall building is appropriate. This was envisaged in the site allocation which recognises its suitability for a tall building or a local landmark. In these cases and whilst a tall building may be appropriate it is a matter of whether the order of height is appropriate. In this case 12 to 14 storeys were considered appropriate at pre-app and whilst this proposal exceeds this height the design has demonstrated that, in order to optimise the site the height has been explored to the maximum acceptable level within broad tolerances.
65. The development is arranged in two parts, influenced by the combination of the LVMF plane (which sets a cap of 30mAOD across the majority of the site) and the guidance in the site allocation (which requires the creation of a new route

across the site). This results in a highly articulated development that naturally divides into a self-contained co-living block and a separate affordable housing block. The design therefore sits naturally in this context significantly enhancing access to the main pedestrian crossing and giving a more formal setting to the spur of Lower Road that extends from Albion Street.

66. Around the base the both buildings are designed like modern brick-built warehouses, drawing from the industrial heritage of Rotherhithe with its substantial warehouses that line the River nearby. A series of projecting balconies are applied to key elevations to enhance the design, offer private amenity to occupiers and reinforce the industrial aesthetic. The tower extrudes vertically at the northern end of the site outside the LVMF view in the form of a chamfered triangular wedge. Its base is defined by a double-height colonnade and at its top a deep set-back on the northern edge, coupled with a elongated upper floor gives the tower a fitting top.
67. The design is highly articulate, with detailed brick coursing, window surrounds and features like balconies and colonnades. The quality of the design will rely to a great degree on the quality of the detailing and the choice of cladding materials. Therefore a mock-up of the tower, sample panels of the cladding materials to base middle and top of the buildings, as well as the architectural detailing should be reserved by condition.
68. The tall buildings policy places great weight on the public space and landscape provided by a development, inscribing the need for a public benefit arising from the private gain of a tall building. In this case the new public route and the enhanced landscape around the perimeter of the site are welcomed aspects of the design and contribute positively to the development. The quality of this design of these public spaces should be reserved by condition and S273 Agreement conditioned for the enhancements to the stopped up portion of Lower Road.
69. Finally, in the views the development will appear as a local landmark. Its main frontal views are enhanced by the chamfered profile of the tower and its highly articulated form. In many views it will be seen in conjunction with the substantially taller towers in the Canada Water Masterplan and as such it will appear as a 'foothill' building to its taller neighbours.

#### Design Conclusion

70. The design is a well-mannered and articulated architectural composition in a highly sensitive location. Its height is at the maximum acceptable level for the site and the design is handled deftly by a skilled architect. When considered in the round together with the associated facilities that future occupiers will need to ensure a high quality design the proposal presents an acceptable architectural solution to this complex site.

#### Design Review Panel

71. The scheme was reviewed by the DRP in September 2023 at the pre-app stage. The Panel generally enjoyed the architectural expression and encouraged the ongoing involvement of the architect on this design. At the time they raised substantial concerns over the height massing and arrangement of

the development. They also questioned the provision communal facilities for the affordable housing within the red-line and raised concerns over the outlook and privacy of residents in the affordable housing block.

72. Following on from the review the design was updated to include further articulation to the base blocks and the tower, enhancements to the new route and the landscaping of the Lower Road spur as well as wider benefits to optimise the delivery of affordable housing on the site.

### Archaeology

73. The site is located in an area of prehistoric archaeological potential with some geo archaeological interest. The applicants have submitted a desk-based assessment that adequately summarises this potential of the site. This includes a useful deposit model. Planning conditions for an archaeological evaluation and subsequent mitigation works including the submission of an archaeological report are required to ensure compliance with local and national planning policy.

### Quality of residential accommodation

74. The affordable homes proposed are all 2, 3 or 4 bed homes, of which 66% will have 3 bedrooms or more. This is well in excess of the 30% requirement in the suburban zone. 10% of the homes would be wheelchair accessible.

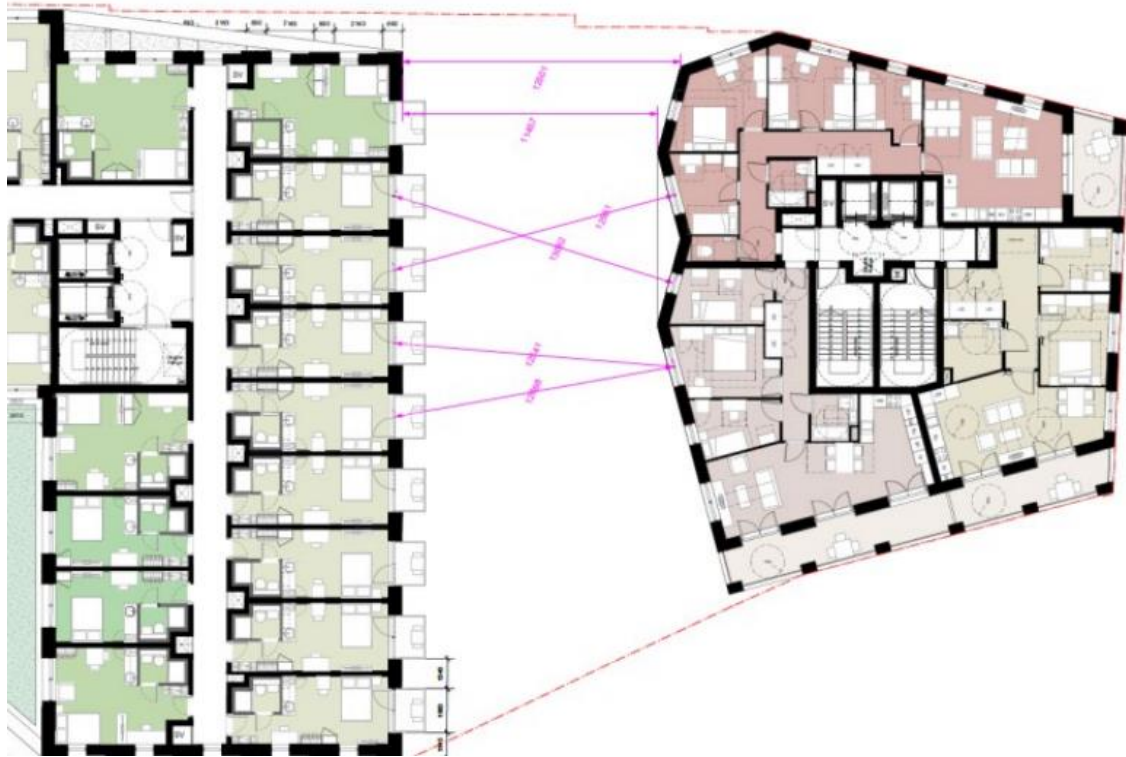
75.



76. Of the three homes on each floor, two would be dual aspect while the third would be triple aspect, providing for a high quality of outlook. All dwellings and rooms would comply with the council's size standards and would have outdoor amenity space in excess of the minimum 10sqm requirement.
77. The distance between the proposed dwellings and existing residential properties would all accord with those stated in the guidelines. The distance between the affordable block and the shared living block is 12m which is the distance needed to manage overlooking over a highway, without mitigation. The area between the two blocks, while not being a highway, represent a through route for cyclists and pedestrians.



78. The applicant has nonetheless amended the proposal to include splayed windows of the affordable block to reduce possible overlooking as shown on the image below.



#### Internal daylight levels

79. All of the living/kitchen/diners in the affordable block would meet 200 Lux target in the BRE guidance, as they do for the sunlight target of receiving 1.5 hours of sunlight on 21 March. The only rooms that do not meet the targets are bedrooms where the expectation for daylight and sunlight is naturally lower than in living areas.

#### Shared living

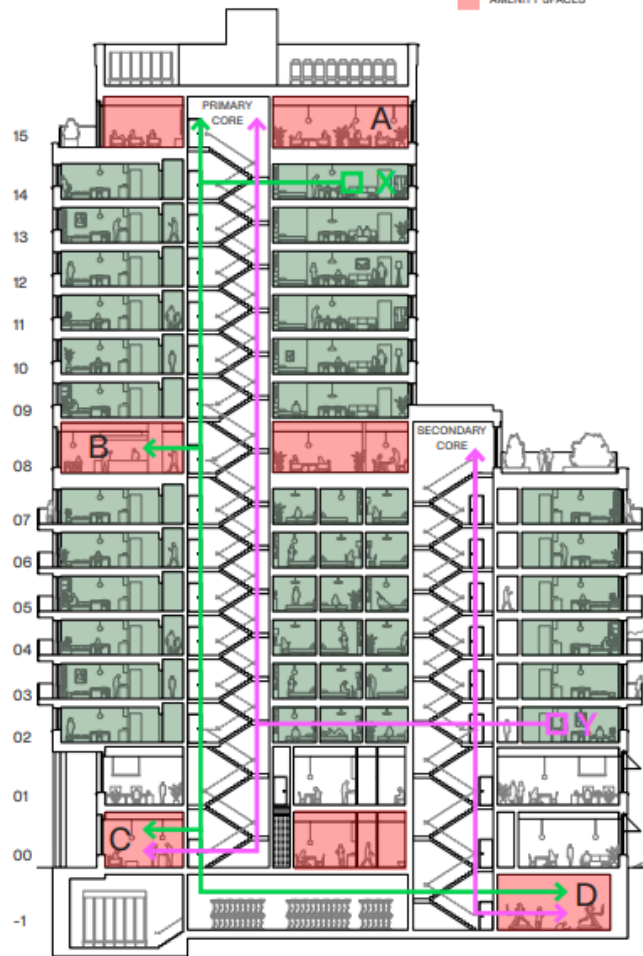
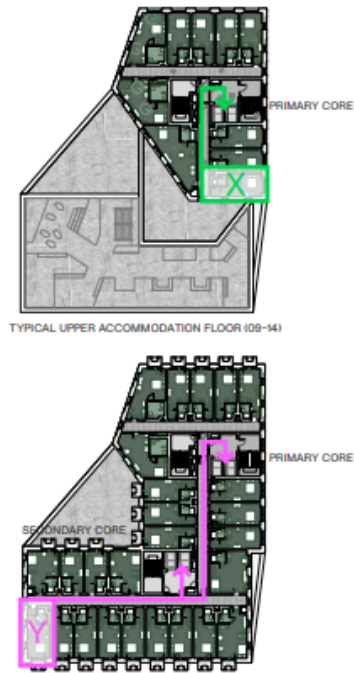
80. The London Plan identifies a number of areas where shared living can be designed to be of high quality. Most of the rooms would be more than 21sqm in size. Communal kitchens, dining areas and socialising space are consolidated into three main areas on the ground, eighth and 16<sup>th</sup> floor. These communal facilities combine to a total of 925sqm and about 4.3sqm for each resident.
81. Each room in the shared living block would have a double bed, wardrobe and kitchenette with en-suite facilities with some on the lower levels benefiting from balconies



Journey time

- Room X → Amenity A = 87 seconds  
 Amenity B = 97 seconds  
 Amenity C = 115 seconds  
 Amenity D = 137 seconds
- Room Y → Amenity A = 145 seconds  
 Amenity B = 70 seconds  
 Amenity C = 123 seconds  
 Amenity D = 66 seconds

KEY  
 ACCOMMODATION / ROOMS  
 AMENITY SPACES



Section showing the shared living and amenity spaces therein.



Typical lower floorplan for the shared living  
**Fire Safety**

82. The Town and Country Planning (Development Management Procedure and Section 62A Applications) (England) (Amendment) Order 2021 establishes that any relevant building is subject to Gateway 1 requirements. Relevant buildings are that which satisfy the 'height condition' and contain two or more dwellings or educational accommodation. The height condition is that (a) the building is 18 metres or more in height; or (b) the building contains 7 or more storeys. The Gateway 1 requirements outline that schemes which feature a relevant building must submit a fire safety statement form and the HSE must be consulted.
83. Policy D12 (B) of the London Plan (2021) requires that all major developments must submit a fire statement. The fire statement should demonstrate how the proposals respond to and contain information on the requirements of both parts A and B of the London Plan Policy D12 on Fire Safety. This must be completed by a third-party, independent, suitably qualified person.
84. Paragraph 3.12.9 of Policy D12 explains that Fire Statements should be produced by someone who is "third-party independent and suitably-qualified". The council considers this to be a qualified engineer with relevant experience in fire safety, such as a chartered engineer registered with the Engineering Council by the Institution of Fire Engineers, or a suitably qualified and competent professional with the demonstrable experience to address the complexity of the design being proposed. This should be evidenced in the fire statement. The council accepts Fire Statements in good faith on that basis. The duty to identify fire risks and hazards in premises and to take appropriate action lies solely with the developer.

85. The shared living block would be served by three residential stairs, two of which would be firefighting stairs; above level 9, there would be two stairs, one of which would be a firefighting stair. The affordable block would be served by two stairs, one of which would be a firefighting stair. The residential and commercial elements of both buildings would have separate stairs; all areas of the building would have sprinklers. The HSE have reviewed the proposal and fire statement provided; they comment that they are content with the fire safety design to the extent that it affects land use planning.

## Landscaping, urban greening and biodiversity

86. The development would require the removal of 11 trees on the site and two street trees. Of these 13 trees, two are grade A, four grade B and five grade C with the remaining two being grade U trees; in addition, vegetation clearance would also be required.
87. In mitigation for these losses, substantial planting is proposed, including semi mature trees as shown on the landscaping drawing below. The short term harm caused by the loss of trees is necessary to allow the development to take place and provide the benefits, including the affordable housing.



88. The Urban Greening Factor that the development has been improved from 0.38 when the application was made to 0.42 through an increase in the area that would be used for sustainable drainage on the route through the site. This is greater than the London Plan target of 0.4.
89. There would be significant greening on the route through the site, around the buildings and on the roofs.
90. A bat survey was undertaken to support the application which did not record any evidence of bats roosting or emerging from the site.
91. In England, Biodiversity Net Gain (BNG) is required under a statutory framework introduced by Schedule 7A of the Town and Country Planning Act 1990 (inserted by the Environment Act 2021). The legislation requires all planning applications, which were received after 12 February 2024 to improve the BNG of a site by

10%. This application was received and validated prior to this date and therefore, is not required to deliver BNG in accordance with legislation. However, the development is still required to deliver increased biodiversity onsite, in accordance with Southwark Plan policy P60. There would be a 280% increase in biodiversity on the site.

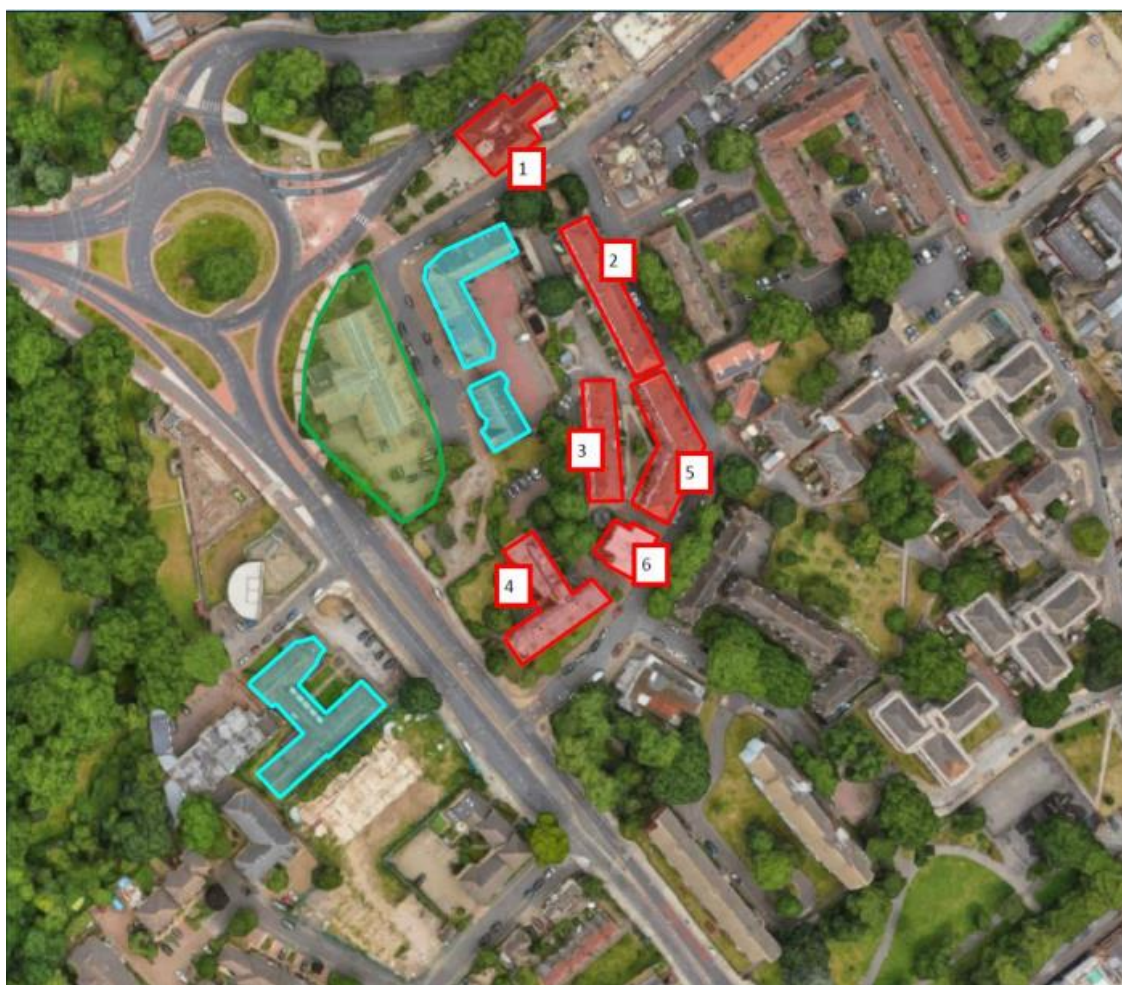
## **Impact of proposed development on amenity of adjoining occupiers and surrounding area**

### Outlook and sense of enclosure

92. The proposed development would meet the council's guidelines for distance to existing residents so there would not be a harmful impact with respect to outlook, privacy or from a sense of enclosure.

### Daylight and sunlight

93. A daylight and sunlight report has been submitted with the application to assess the impact of the proposed development on neighbouring occupiers. The assessment has carried out in accordance with the BRE guide 3rd Edition 2022.



Site (green), Residential (Red), Commercial (Blue)

94. The following residential properties have been assessed in the daylight and

sunlight report, which correspond to the numerical labels on image above:

- 1) St Olav's Church (Religious building with residential accommodation on the upper floors).
- 2) 45-67 Irwell Estate (Block of residential flats).
- 3) 1-20 Irwell Estate (Block of residential flats).
- 4) Blick House (Block of residential flats).
- 5) 21 to 44 Irwell Estate (Block of residential flats).
- 6) 1 to 14 Myles Court (Block of residential flats).

95. The report applies the vertical skyline test (VSC) and the no skyline test (NSL) methodologies to assess the impact of the proposed development on daylight levels for neighbouring properties. The annual probable sunlight hours (APSH) test has also been applied to assess the impact on sunlight levels. VSC is the most readily adopted methodology for assessing daylight levels. The test calculates the total amount of skylight at the centre of each main window on the neighbouring properties excluding windows for bathrooms, toilets, storeroom, circulation areas and garages. The target daylight level is recommended to be 27%, which is good level of daylight. The BRE guide recommends that reductions below this level should be kept to a minimum. If daylight levels are less than 27%, and less the 0.8 times the former value prior to the new development, occupants of the existing building will notice a reduction for skylight with the new development in place.
96. Where room layouts are known, the NSL test can also be applied to assess daylight distribution in rooms of existing neighbouring buildings. This identifies areas in a room that can and cannot see the sky. Areas of a room where no skyline can be seen receive no direct daylight. The BRE guide recommends that if the area of a the room receiving direct daylight is reduced to less than 0.80 times its former value prior to the new development, occupants will notice a change in direct daylight and more of the room will appear poorly lit.
97. The daylight results are summarised in the tables below and explained in detail in the following paragraphs.

98.

Address	Total windows assessed	Meet BRE guide (No noticeable change)	Below BRE criteria			Total windows affected
			20-29.9% reduction (Minor)	30-39.9% reduction (Moderate)	>40% reduction (Major)	
St Olavs Church	12	12	-	-	-	0
45 to 67 Irwell Estate	35	18	15	2	0	17
1 to 20 Irwell Estate	56	56	-	-	-	0
Blick House	100	92	6	2	0	8
21 to 44 Irwell Estate	34	34	-	-	-	0
1 to 14	39	34	-	-	-	0

Myles Court						
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*Summary of Vertical Sky Component calculations for the reduction in daylight to windows resulting from the proposed development*

Address	Total rooms assessed	Meet BRE guide	Below BRE criteria			Total affected rooms
			20-29.9% reduction (Minor)	30-39.9% reduction (Moderate)	>40% reduction (Major)	
45 to 67 Irwell Estate	34	17	15	2	0	17
1 to 20 Irwell Estate	50	50	-	-	-	0
Blick House	50	50	-	-	-	0
21 to 44 Irwell Estate	39	39	-	-	-	0
1 to 14 Myles Court	15	14	2	-	-	0

*Summary of Daylight Distribution (No Sky Line) calculations for the reduction in daylight to rooms resulting from the proposed development.*

100. 45 to 67 Irwell Estate: Residential building.

The VSC and NSL assessment shows that with the new development in place, the following windows would experience a noticeable loss of daylight:

- Ground floor W25 and W26 - moderate reduction for both VSC and NSL.
- Ground floor W4, W9, W14, W15, W16 - moderate reduction for both VSC and NSL.
- First floor W1, W6, W7, W12, W17, W21, W22, W23, W32, W33 – minor reduction for both

Each room is only served by one window. Of those affected, none exceed a daylight level of more than 27% as existing, suggesting daylight levels are already low for these windows prior to the development being built. Overall, the proposed development would likely result in a noticeable reduction in daylight levels for these rooms. The rooms facing the site have deck access which limits daylight for the properties, the results without these overhangs, all rooms and windows would be compliant with the BRE guidelines. It is a similar case for sunlight- 14 of the 35 windows assessed would not meet the annual sunlight recommendation from the BRE with the number falling to four for winter, with the effect of the balconies removed, that number falls to three annually and for the winter.

1-20 Irwell Estate

101. All windows and rooms for these homes meet the BRE guidelines for daylight and sunlight, for there to be no noticeable impact.

Blick House

102. Eight windows would have their daylight reduced to a noticeable degree, but no rooms would have a reduction of more than 20% for the no sky line. With the effect of the deck access removed, all windows and rooms for these homes meet the BRE guidelines. All windows meet the recommendation for sunlight.

103. 21 to 44 Irwell Estate: Residential Building

All windows and rooms for these homes meet the BRE guidelines for daylight and sunlight, for there to be no noticeable impact.

St Olav's Church

104. There would be no noticeable impacts on daylight and sunlight to this building.

### Wind Microclimate

105. The modelling undertaken shows that there would be areas that would need mitigation around the development. It is recommended that this mitigation be designed so that the play areas A and B below are suitable for the standing threshold rather than the standing and walking threshold as present; mitigation is provided so that it is suitable for sitting and consideration given to improving comfort for the area marked in E. The area shown as C is Christopher Jones Square where improvements and much of the off-site play space mitigation is proposed this area would be comfortable for sitting.



	Description	Wind Speed (m/s)	Exceedance
	Frequent Sitting	2.5	<5%
	Occasional Sitting	4.0	<5%
	Standing	6.0	<5%
	Walking	8.0	<5%
	Uncomfortable	>8.0	>5%

Table 1 The Lawson Criteria comfort categories for pedestrian wind comfort

## Transport and highways

106. The site would be serviced off Lower Road with the removal of four on street parking bays to allow a space of 30m for a loading bay. The scheme has also been amended to allow for an on site blue badge parking bay for a resident; the development would otherwise be car free.



## Trip Generation and Mode Split

107. The scheme would provide the amount of cycle parking required by the Southwark Plan for all used on the site:

USE	LONG-STAY	SHORT STAY	TOTAL (PER USE)
Co-living ('sui generis')	216	6	222
Affordable Housing (Class C3)	48	2	50
Commercial – Office (Class E)	20	3	23
Commercial – Café (Class E)	2	7	9
<b>TOTAL (WHOLE SCHEME)</b>	<b>285</b>	<b>18</b>	

## Environmental matters



### Construction management

108. The site is some distance away from existing residents, so impacts are not expected to be great. Nonetheless, it is recommended that a Construction Environmental Management Plan be required through condition to ensure that hours of work and practices are controlled to avoid impacts through noise; traffic and dust.

### Noise and vibration

109. Sound levels at this location are dominated by road traffic noise as one would expect, although here is a contribution from aircraft. Windows with acoustically treated ventilation will be required to provide suitable internal resting and sleeping conditions for both the shared living and affordable blocks and a condition is recommended to that end. Noise from plant serving the residential and commercial elements will need to be controlled too and a separate condition is recommended for this.

### Waste management

110. Waste would be stored on the ground floor of both blocks and collected from Lower Road. There are separate areas for the residential and commercial waste. The capacity of the residential storage meets that required in Southwark guidance as does the drag distance to a refuse vehicle.

### Water resources and flood risk

111. The application site is located within Flood Zone 3, identified in the Environment Agency flood map, indicating a high probability of flooding.
112. Paragraphs 157 to 158 of the NPPF states that planning decisions must take into account the current and long-term implications for flood risk in order to minimise the vulnerability of communities and improve resilience. Where development is necessary in higher risk areas, development should be made safe for its lifetime without increasing flood risk elsewhere. Certain steps need to be followed when reaching a planning decision on development in higher risk areas, with risks managed through suitable adaptation measures. The Environment Agency and Southwark's Flood Risk team have been consulted and their advice taken into account.
113. The NPPF states that where a development proposal is in accordance with an allocation made in the Southwark Plan's Strategic Flood Risk Assessment (which set out the Sequential and Exception Tests), it is not necessary to repeat the Exception Test. This applies provided;
- the proposed development is consistent with the use for which it was allocated
  - there have been no significant changes to the known level of flood risk to the site, now or in the future which would have affected the outcome of the test.
114. The site was assessed as part of the Council's Strategic Flood Risk Assessment

(2017) and sequential test, ahead of being allocated for development in the Southwark Plan (2023). The proposed uses are consistent with the uses for which it was allocated, and there have been no known changes of significance to the known level of flood risk to the site, in accordance with the NPPF requirements set out above. Therefore, no further sequential test is required to support this application.

115. The NPPF paragraph 173 states development should only be allowed in areas at risk of flooding where, in the light of this assessment (and the sequential and exception tests, as applicable) it can be demonstrated that:
- a) within the site, the most vulnerable development is located in areas of lowest flood risk, unless there are overriding reasons to prefer a different location;
  - b) the development is appropriately flood resistant and resilient such that, in the event of a flood, it could be quickly brought back into use without significant refurbishment;
  - c) it incorporates sustainable drainage systems, unless there is evidence that this would be inappropriate;
  - d) any residual risk can be safely managed;
  - e) safe access and escape routes are included where appropriate, as part of an agreed emergency plan.
116. The applicant has submitted a revised Site-specific Flood Risk Assessment, in response to comments received from the council's Flood Risk Management Scheme.
117. The Environment Agency have been consulted on and have raised no objection to the proposed development subject to recommended planning condition to secure first floor finished floor levels to be set no lower than the following Above Ordnance Datum (m AOD):
- 7.000 m AOD for Block A
  - 6.675 m AOD for Block B
118. This is to reduce the risk of flooding to the proposed sleeping accommodation, located at first floor and above.

### Land contamination

119. The phase 1 desk based assessment has identified the site as having low to moderate risk; with the moderate risk being short term exposure to construction workers. A condition is recommended for a phase 2 intrusive investigation and remediation strategy if necessary to ensure that the site is safe for future users.

### Air quality

120. The development would be air quality neutral for both the construction and operational phases of the development. Concentrations of pollutants at the proposed receipt points are predicted to be below the target levels in 2026, the proposed date of completion. No mitigation is required, other than the construction management plan mentioned above.

### **Energy and sustainability**

### Whole life cycle and carbon capture and circular economy

121. The building itself is of poor quality and on a site that's identified for redevelopment. The building does not lend itself to reuse for the site allocation to be met, so its redevelopment is acceptable.
122. The circular economy statement identifies a number of interventions, including diverting 95% of all demolition material from landfill to re-use, recycling or recovery and for 20% of the building material to be from recycled content.
123. An Energy Strategy has been submitted setting out how the development proposal would reduce operational carbon emissions beyond Part L 2021 to be net carbon zero, in accordance with the London Plan Policy London Plan Policy SI 2 and Southwark Plan Policy P70. The London Plan Policy requires all major development to achieve a minimum on site reduction of 35% beyond Part L 2021 baseline. For non-residential development, 15% of this reduction should be achieved from energy efficient measures (Be Lean). Southwark Plan Policy P70 goes beyond this, requiring major residential development to achieve 100% on site saving and major non-residential development to achieve a minimum 40% on site savings, beyond the Part L baseline. Where developments are unable to meet the onsite savings, Policies SI 2 and P70 require any shortfall to be secured through a payment in lieu towards the council's carbon offset fund (green buildings fund).
124. Through the measures outlined in the following paragraphs in accordance with the energy hierarchy set out by Policies SI 2 and P70, this development is expected to reduce on site carbon emissions by 20.5 tonnes of carbon dioxide per annum for the residential element, and 8.4 tonnes of carbon dioxide per annum for the non-residential element. This equates to a 77% and 35% on-site reduction against the 2021 Part L baseline respectively. This meets the overall minimum on site reductions required by the London Plan but falls short of the Southwark Plan requirements for residential and non-residential development. Moreover, the development would only achieve 5% of the non-residential on site savings from energy efficient measures, which falls short of the London Plan requirement, as set out above.

#### Be Lean (use less energy)

125. At the first stage of the energy hierarchy, development should reduce energy demand through passive design and energy efficient measures. The applicant's energy strategy sets out how this would be achieved through well performing insulation of the building, effective managing of thermal bridging and re-using excess heat from the building. These measures result in a carbon saving of 18% for the residential and 5% for the commercial elements.

#### Be Clean (supply energy efficiently)

126. The applicant has looked into the possibility of connecting to an existing or future heat network and the infrastructure, but being over 600m distant, it is not something that can be included in the energy strategy for operation. Nonetheless, the applicant has designed a space in the plant room to connect to the network should it be extended in the future. No additional savings would be

met through this criterion.

Be Green (Use low or carbon zero energy)

127. Air source heat pumps are proposed along with PV panels on the roofs which would result in a carbon reduction of 59% in the residential and 30% in the commercial areas of the building

Total carbon savings

128. The total carbon savings for the residential element would be 77% and for the commercial, they would be 35% resulting in a saving of 20.5 and 8.4 tonnes of carbon per year respectively.
129. To achieve net carbon zero, the development would therefore be required to offset 6 tonnes of carbon dioxide per annum for the residential element and 15.5 tonnes of carbon dioxide per annum for the non-residential element. This would require a total offset payment of £61,257.00 payment to the council's green building fund, based on a charge of £95 per tonne of carbon dioxide to be offset over 30 years, in accordance with Southwark's S106 Planning Obligations and Community Infrastructure Levy (CIL) SPD (November 2020 Update). The offset contribution will be secured in the Section 106 (S106) Agreement with adjustment clauses to account for any improvements to the carbon emission reductions during the post-planning design development stages

Be Seen (Monitor and review)

130. In accordance with London Plan Policy S1 2, Southwark Plan Policy P70 and the London Plan Be Seen energy monitoring guidance, the proposed development's energy performance would be monitored, verified and reported on through to post construction using the GLA's Be Seen Monitoring platform. This monitoring would be secured through a planning obligation in the S106 Agreement.

**Planning obligations (S.106 agreement)**

131. London Plan Policy DF1 and Southwark Plan Policy IP3 advise that planning obligations can be secured to overcome the negative impacts of a generally acceptable proposal. These policies are reinforced by the Section 106 Planning Obligations 2015 SPD, which sets out in detail the type of development that qualifies for planning obligations. The NPPF which echoes the Community Infrastructure Levy Regulation 122 which requires obligations be:
- necessary to make the development acceptable in planning terms;
  - directly related to the development; and
  - fairly and reasonably related in scale and kind to the development
132. Following the adoption of Southwark's Community Infrastructure Levy (SCIL) on 1 April 2015, much of the historical toolkit obligations such as Education and Strategic Transport have been replaced by SCIL. Only defined site specific mitigation that meets the tests in Regulation 122 can be given weight.

Planning obligation	Mitigation	Applicant's position
Local Economy and Workspace		
Local economy: Construction phase jobs/ contributions	<p>32 sustained jobs to unemployment Southwark residents</p> <p>32 short courses and 8 construction industry apprentices during the construction phase, or meet any shortfall through the Employment and Training contribution.</p> <p>The maximum Employment and Training Contribution is £154,400 (£137,600 against sustained jobs, £4,800 against short courses, and £12,000 against construction industry apprenticeships).</p> <p>An employment, skills and business support plan to include:</p> <p>1. Methodology for delivering the following:</p> <ul style="list-style-type: none"> <li>a. Identified 'construction workplace coordinator' role(s) responsible for on-site job brokerage through the supply chain and coordination with local skills and employment agencies;</li> <li>b. Pre-employment information advice and guidance;</li> <li>c. Skills development, pre and post employment;</li> <li>d. Flexible financial support for training, personal protective equipment, travel costs etc;</li> <li>e. On-going support in the workplace;</li> <li>f. Facilitation of wider benefits, including schools engagement, work experience etc.</li> </ul> <p>2. Targets for construction skills and employment outputs, including apprenticeships, that meet the expected obligations;</p>	Agreed

	<p>3. A mechanism for delivery of apprenticeships to be offered in the construction of the development;</p> <p>4. Local supply chain activity - we would expect methodologies with KPIs agreed to:</p> <ul style="list-style-type: none"> <li>a. provide support to local SMEs to be fit to compete for supply chain opportunities;</li> <li>b. develop links between lead contractors, sub-contractors and local SMEs;</li> <li>c. work with lead contractors and sub-contractors to open up their supply chains, and exploration as to where contract packages can be broken up and promote suitable opportunities locally.</li> </ul>	
<p>Local economy: Construction phase employment, skills and business support plan</p>	<p>16 sustained jobs for unemployed Southwark Residents at the end phase, or meet any shortfall through the Employment in the End Use Shortfall Contribution.</p> <p>The maximum Employment in the End Use Shortfall Contribution is £68,800 (based on £4300 per job).</p> <p>No later than six months prior to first occupation of the development, we would expect the developer to provide a skills and employment plan to the Council. This plan should identify suitable sustainable employment opportunities and apprenticeships for unemployed borough residents in the end use of the development. The plan should include:</p> <p>1. a detailed mechanism through which the Sustainable Employment Opportunities and apprenticeships will be filled, including, but not limited to, the name of the lead organisation, details of its qualifications and experience in providing employment support and job brokerage for unemployed people, and the name of the point of contact who will co-ordinate implementation of the skills and</p>	<p>Agreed</p>

	<p>employment plan and liaise with the Council;</p> <p>2. key milestones to be achieved for filling the sustainable employment opportunities and apprenticeships;</p> <p>3. Identified skills and training gaps required to gain sustained Employment in the completed development, including the need for pre-employment training;</p> <p>4. Methods to encourage applications from suitable unemployed Borough residents by liaising with the local Jobcentre Plus and employment service providers.</p>	
Affordable workspace provision	10% affordable workspace secured on site.	Agreed
Housing, Viability and Amenity Space		
Affordable (social and intermediate) housing Provision	24 affordable homes, 26% social rent, 9% intermediate. £1.4m payment in lieu for affordable housing to bring the total equivalent to 40%	Agreed
Early viability review		Agreed
Wheelchair housing provision	Three 2 bedroom, three person homes	Agreed
Play space	On site and off site through improvements on Christopher Jones Square and a cash payment.	Agreed
Outdoor amenity space	Provision on the public realm and on roofs.	Agreed
Public open space		Agreed
Transport and Highways- to be confirmed.		
Energy, Sustainability and the Environment		
Connection to (or futureproofing for		Agreed

connection to) district CHP		
Carbon offset fund	£61,416	Agreed
Precautionary tree loss offset	To be confirmed	
Administration fee	Payment to cover the costs of monitoring these necessary planning obligations calculated as 2% of total sum.	Agreed

133. In the event that an agreement has not been completed by 28 February 2025 the committee is asked to authorise the director of planning to refuse permission, if appropriate, for the following reason:

In the absence of a signed S106 agreement, there is no mechanism in place to mitigation against the adverse impacts of the development through contributions. It would therefore be contrary to London Plan (2021) Policies DF1, T9, T9 and E3, Southwark Plan (2022) Policies P23, P28, P31, P45, P50, P51 P54, P70, IP3 and the Southwark Section 106 Planning Obligations and Community Infrastructure Levy SPD (2015), Paragraph 57 of the NPPF (2023).

#### Affordable Housing Monitoring

134. It is recommended that the Section 106 Agreement includes clauses to monitor the provision of affordable housing. This will ensure the provision of the affordable homes can be monitored and they remain in perpetuity, unless the proposed tenure allows for staircasing/purchase of the property.
135. The clauses will require the developer to provide drawings illustrating the location of the social rented and intermediate homes to ensure the exact location of these homes are identified and can be monitored by the council.
136. The developer will be required to notify the council at several stages throughout the development, this includes, at practical completion to ensure a trigger is received so the council can check that the occupation of the affordable homes is as approved. The developer is required to provide the council with as-built plans of the development identifying the address (as approved by the street naming and numbering service) and tenure of each unit. The developer is also required to give the council access to the development with reasonable notice to verify the submitted plans.
137. The developer is required to notify the council immediately of an event which causes the tenure of an Affordable Housing Unit, including, but not limited to a tenant Staircasing to 100% ownership pursuant to a shared ownership lease.
138. These requirements will ensure the Council is informed if the tenure of an affordable home is changed so this can be considered where appropriate and that our affordable housing data can be updated as soon as possible where



required.

## **Mayoral and borough community infrastructure levy (CIL)**

139. Section 143 of the Localism Act states that any financial contribution received as community infrastructure levy (CIL) is a material 'local financial consideration' in planning decisions. The requirement for payment of the Mayoral or Southwark CIL is therefore a material consideration. However, the weight attached is determined by the decision maker. The Mayoral CIL is required to contribute towards strategic transport invests in London as a whole, primarily Crossrail. Southwark's CIL will provide for infrastructure that supports growth in Southwark.

## **Community involvement and engagement**

140. In accordance with Southwark's Development Consultation Charter the applicant is required to carry out their own consultation prior to the submission of this planning application; to engage with community and political stakeholders, residents, and neighbours from the area. Their approach to this is set out in their Statement of Community Involvement (SCI) document submitted with this application, and summarised below.

## **Consultation responses from members of the public and local groups**

141. 24 comments, 19 objections, 4 supports
142. Summarised below are the planning matters raised by members of the public with an officer response. Further detail on these matters are set out within the relevant sections in the report.
143. Summary of objections:
- Proposal would prejudice redevelopment of the remaining site allocation
  - Proposal is well above the site allocation capacity.
  - Over development of this site
  - Height and scale out of keeping with low rise urban context
  - Not an appropriate site for a tall building
  - Strain on existing local services such as GP surgeries
  - Poor quality design - bland
  - Heritage harm to heritage assets including grade II listed Norwegian Church and St Mary's Church, St Mary's Rotherhithe CA, King Edward III Rotherhithe CA, Kings Stairs Gardens, and the registered historic Southwark Park.
  - Insufficient public benefit to outweigh heritage harm
  - Unacceptable impact on identified views in the TVIA.
  - Poor quality of accommodation for co-living building
  - Inadequate provision of public realm improvements commensurate with the scale of the development proposal, and within redline boundary.
  - Poor air quality
  - Increased road traffic
  - Strain on local public transport infrastructure (in particular at rush hour)
  - Overlooking impacts for United and Pilgrim House residents
  - Security concerns and ASB from co-living block

- Uncertainty around deliverability of commercial floor area
- insufficient access to the site impacting business owners of adjacent City Business Centre

- 

Summary of supporters:

- Housing delivery
- CIL / S106 money (to be used within the ward for children and those with learning difficulties)
- Sensible height – does not overshadow too much
- New playground

## **Consultation responses from external and statutory consultees**

144. Summarised below are the planning matters raised by external and statutory consultees. Matters are addressed within the relevant sections in the Assessment section of this report.
145. Historic England:
- No advice offered. This should not be interpreted as comment on the merits of the application.
  - Suggestion that we seek the views of our specialist conservation and archaeological advisers.
  - Refer to Historic England's published advice.
  - This response related to designated heritage assets only.
  - Further consultation requested on material changes to the proposal.
146. Health and Safety Executive (HSE):
- Following a review of the information provided in the planning application, HSE is content with the fire safety design as set out in the project description to the extent it affects land use planning considerations.
  - Advice given on means of escape (travel distance), cooking facilities on external roof terrace, photovoltaic (PV) panels, green roof and hydrants.
147. NATS Safeguarding:
- No safeguarding objection to the proposal, based on the information available at the time of the consultation.
148. London City Airport:
- No conflict with London City Airport's safeguarding criteria.
149. Heathrow Safeguarding:
- No safeguarding objections to the proposed development
150. National Grid Electricity:
- No National Grid Electricity Transmission assets affected in this area
  - This response is only in reference to National Grid Electricity Transmission assets only. National Grid Electricity Distribution (formerly WPD) and National Gas Transmission (formerly National Grid Gas)

should be consulted separately where required.

151. Transport of London Infrastructure Protection:

- No objection in principle to the proposal subject to planning conditions that would ensure that the development does not impact on the existing London Underground transport infrastructure, prior to commencement of development, prior to demolition works, Prior to substructure construction stage and prior to super structure construction stage.
- Request an informative is added to request that the applicant contact TfL Infrastructure Protection in advance of preparations of final design and associated method statements in particular with regard to demolition, drainage, excavation, construction methods, tall plant, scaffolding, security, boundary treatment, safety barriers, landscaping and lighting.

### **Consultation responses from internal consultees**

152. Summarised below are the planning matters raised by internal consultees. Matters are addressed within the relevant sections in the Assessment section of this report.

153. Local Economy Team:

- Supportive of application which matches the economic, job and growth plans as discussed in the planning statement.
- No loss of employment space.
- 10% affordable workspace to be delivered on site secured through the S106 legal agreement.
- Relocation and retention strategy to be secured via planning condition supported and a commitment to re-locate existing businesses on site or in alternative premises. The strategy is to be written in consultation with the affected businesses and must set out viable re-location options for small / independent businesses to be displaced by the development.
- Construction phase jobs / skill and employment requirements and end use of the development jobs / requirements to be secured through the S106 legal agreement.
- The applicant should allow local businesses to tender for the procurement of goods and services generated by the development during and after construction.

### **Community impact and equalities assessment**

154. The council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights

155. The council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application.

156. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:

1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
  - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
  - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
  - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low
3. The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.

157. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership.

### **Human rights implications**

158. This planning application engages certain human rights under the Human Rights Act 1998 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.

159. This application has the legitimate aim of delivering a site allocation that includes market homes and affordable homes. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

### **Positive and proactive statement**

160. The council has published its development plan and Core Strategy on its website together with advice about how applications are considered and the information that needs to be submitted to ensure timely consideration of an application. Applicants are advised that planning law requires applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

161. The council provides a pre-application advice service that is available to all applicants in order to assist applicants in formulating proposals that are in accordance with the development plan and core strategy and submissions that are in accordance with the application requirements.

## Positive and proactive engagement: summary table

Was the pre-application service used for this application?	YES
Was the application validated promptly?	YES
If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval?	YES
To help secure a timely decision, did the case officer submit their recommendation in advance of the agreed Planning Performance Agreement date?	YES

## CONCLUSION

162. For the reasons set out in the Assessment section of this report, it is recommended that planning permission be granted, subject to conditions, the timely completion of a S106 Agreement and referral to the Mayor of London.

## BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Southwark Local Development Framework and Development Plan Documents	Resources Department 160 Tooley Street London SE1 2QH	Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 0254 Council website: www.southwark.gov.uk

## APPENDICES

No.	Title
Appendix 1	Recommendation (draft decision notice)
Appendix 2	Relevant planning policy
Appendix 3	Consultation undertaken
Appendix 4	Consultation responses received.

**AUDIT TRAIL**

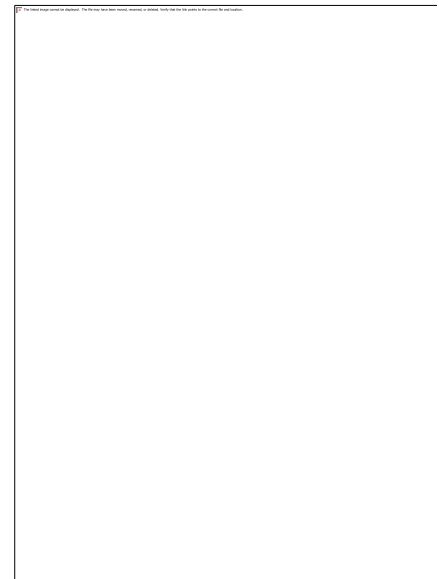
<b>Lead Officer</b>	Stephen Platts, Director of Planning and Growth	
<b>Report Author</b>	Dipesh Patel, Group Manager- Strategic Applications	
<b>Version</b>	Final	
<b>Dated</b>	29 September 2024	
<b>Key Decision</b>	No	
<b>CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER</b>		
<b>Officer Title</b>	<b>Comments Sought</b>	<b>Comments included</b>
Strategic Director, Resources	No	No
Acting Strategic Director, Environment, Sustainability and Leisure	No	No
Strategic Director, Housing	No	No
<b>Date final report sent to Constitutional Team</b>		30 September 2024

DRAFT

**SOUTHWARK COUNCIL**

Town and Country Planning Act 1990 (as amended)

Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

[www.southwark.gov.uk](http://www.southwark.gov.uk)**DECISION NOTICE****LBS Reg. No.:** 23/AP/3487**Date of Issue of Decision:**

Applicant The SoCo and Blue Coast Capital Ltd

**Pending legal agreement & referral to GLA WITH LEGAL AGREEMENT for the following development:**

Demolition of existing buildings and redevelopment of the site to provide: one mixed-use building of up to 17 storeys in height (including plant screen), with a single basement, comprising 216 purpose-built shared living units and communal amenity space (Sui Generis) and 1,517 square meters of commercial floorspace (Use Class E); one mixed-use building of up to 10 storeys in height, with a single basement, comprising 24 homes and communal amenity space (Use Class C3) and 149.6 square meters of commercial floorspace (Use Class E); and public realm, including play space, as well as other associated works.

At

City Business Centre, Lower Road, London SE16 2XB

In accordance with the valid application received on 9 May 2023 and supporting

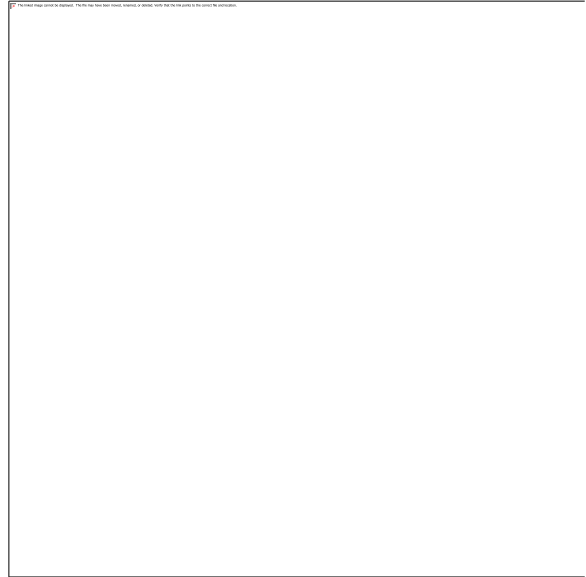
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## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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documents submitted which can be viewed on our Planning Register.

For the reasons outlined in the case officer's report, which is also available on the Planning Register.

The Planning Register can be viewed at: <https://planning.southwark.gov.uk/online-applications/>

### Definitions:

**"Above-Grade"** means any works of construction above the ground level at the time the works are carried out;

**"Development"** means the Development permitted by this Planning Permission (ref: 23/AP/0948);

**"Excluded Works"** means any of the following works:

- a) demolition or removal of existing buildings and structures/boundary walls (excluding the removal of any underground structures);
- b) installation of temporary hoarding;
- c) termination or diversion of existing utility services where not undertaken by a statutory provider under their statutory powers;
- d) Surveys/site investigations as necessary;
- e) Setup site/welfare; and
- f) temporary construction works

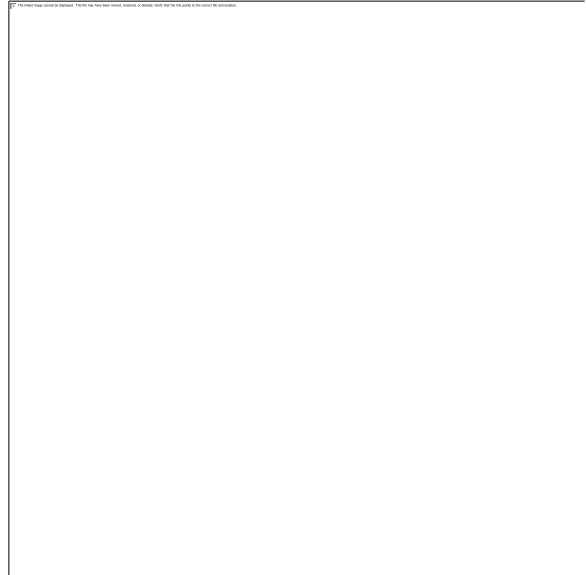
**"Occupation"** means the use or occupation of the Development or any part thereof for the purposes permitted and does not include occupation by personnel engaged in construction, fitting out or decoration, commissioning or occupation for marketing or display or operations in relation to security operations and the phrases "Occupy" and



## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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"Occupied" and cognate expressions shall be construed accordingly.

Reason: For the avoidance of doubt and in the interests of proper planning.

### **Permission is subject to the following Time Limit:**

1. The development hereby permitted shall be begun before the end of three years from the date of this permission.

**Reason:** As required by Section 91 of the Town and Country Planning Act 1990 as amended.

### **Permission is subject to the following Pre-Commencements Condition(s)**

#### **2. Archaeological Evaluation**

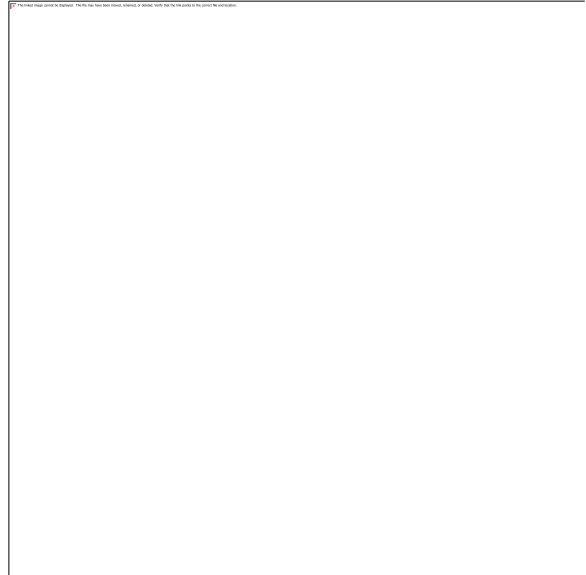
Before any work hereby authorised begins, (excluding demolition to slab level and site investigation works), the applicant shall secure the implementation of a programme of archaeological evaluation works in accordance with a written scheme of investigation, which shall be submitted to and approved in writing by the Local Planning Authority.

**Reason:** In order that the applicants supply the necessary archaeological information to ensure suitable mitigation measures and/or foundation

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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design proposals be presented in accordance with the National Planning Policy Framework (2023); Policy P23 (Archaeology) of the Southwark Plan (2022).

### 3. **Archaeological Mitigation**

Before any work hereby authorised begins, [excluding archaeological evaluation, demolition to slab level, and site investigation works] the applicant shall secure the implementation of a programme of archaeological mitigation works in accordance with a written scheme of investigation, which shall be submitted to and approved in writing by the Local Planning Authority.

**Reason:** In order that the details of the programme of works for the archaeological mitigation are suitable with regard to the impacts of the proposed development and the nature and extent of archaeological remains on site in accordance with Policy P23 Archaeology of the Southwark Plan (2022) and the National Planning Policy Framework 2023.

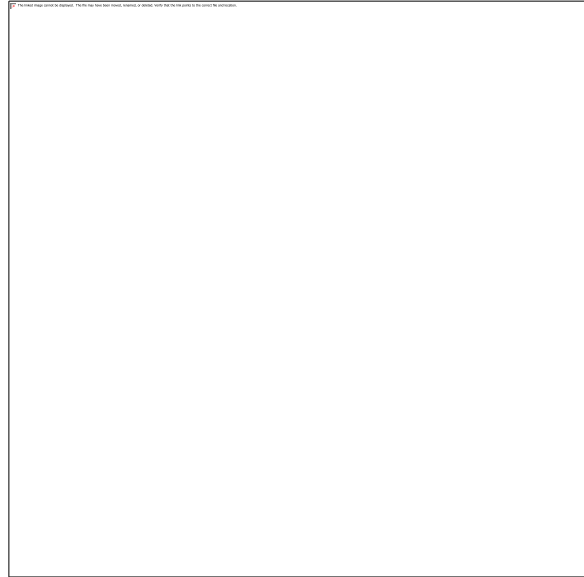
### 4. **Archaeological Pre-commencement Foundation and Basement Design Condition**

Before any work, hereby authorised, [excluding demolition to slab level, archaeological evaluation and site investigation works], begins, the applicant shall submit a detailed scheme showing the complete scope and arrangement of the basement and foundation design, and all associated subterranean groundworks, including the construction methods. The submitted documents should show how archaeological remains will be protected by a suitable mitigation strategy. The detailed scheme will need to be approved in writing by the Local Planning Authority and the

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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development shall only be carried out in accordance with the approval given.

Reason: In order that all below ground impacts of the proposed development are known and an appropriate protection and mitigation strategy is achieved to preserve archaeological remains by record and/or in situ in accordance with Policy P23 Archaeology of the Southwark Plan (2022) and the National Planning Policy Framework 2023.

### 5. **Construction Environmental Management Plan**

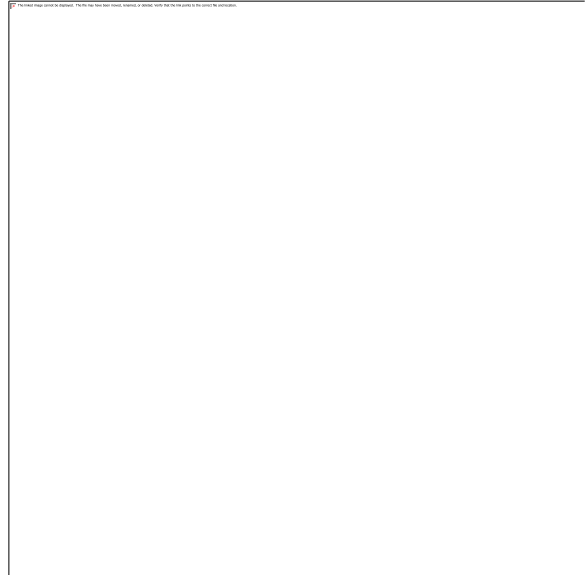
Prior to the commencement of development (other than Excluded Works), the updated Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority. The updated CEMP shall oblige the applicant, developer and contractors to commit to current best practice with regard to construction site management and to use reasonable endeavours to minimise off-site impacts, and will include the following information:

- A detailed specification of demolition and construction works at each phase of development including consideration of all environmental impacts and the identified remedial measures;
- Site perimeter continuous automated noise, dust and vibration monitoring;
- Engineering measures to eliminate or mitigate identified environmental impacts e.g. hoarding height and density, acoustic screening, sound insulation, dust control measures, emission

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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reduction measures, location of specific activities on site, etc.;

- Arrangements for a direct and responsive site management contact for nearby occupiers during demolition and/or construction (signage on hoardings, newsletters, residents liaison meetings, etc.);
- A commitment to adopt and implement of the ICE Demolition Protocol and Considerate Contractor Scheme; Site traffic - Routing of in-bound and outbound site traffic, one-way site traffic arrangements on site, location of lay off areas, etc.;
- Site waste Management - Accurate waste stream identification, separation, storage, registered waste carriers for transportation and disposal at appropriate destinations; and
- A commitment that all NRMM equipment (37 kW and 560 kW) shall be registered on the NRMM register and meets the standard as stipulated by the Mayor of London.

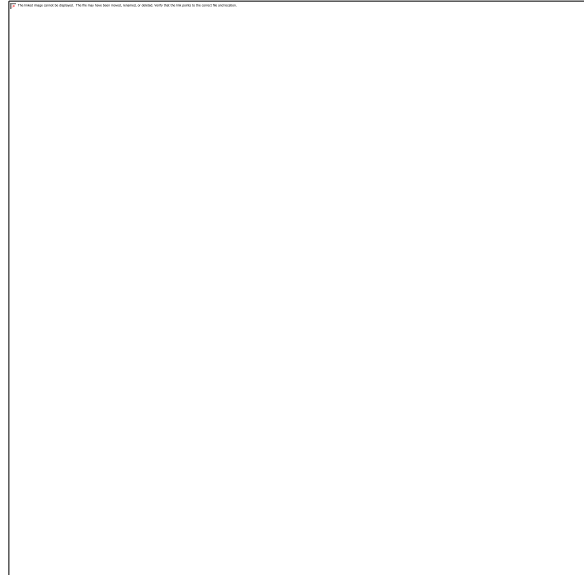
All demolition and construction work shall be undertaken in strict accordance with the approved CEMP and other relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that occupiers of neighbouring premises and the wider environment do not suffer a loss of amenity by reason of pollution and nuisance, in accordance with the National Planning Policy Framework (2023); Policy P50 (Highway impacts), Policy P56 (Protection of amenity),

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

Policy P62 (Reducing waste), Policy P64 (Contaminated land and hazardous substances), Policy P65 (Improving air quality) and Policy P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan (2022).

### 6. **Contaminated Land**

a) Prior to the commencement of any development, a phase 1 desktop study of the historic and current uses of the site and adjacent premises shall be carried out together with an associated preliminary risk assessment including a site walkover survey, identification of contaminants of the land and controlled waters and develop a conceptual model of the site with conclusion and recommendations whether a Phase 2 intrusive investigation is required. This report shall be submitted to the Local Planning Authority for approval before the commencement of any intrusive investigations.

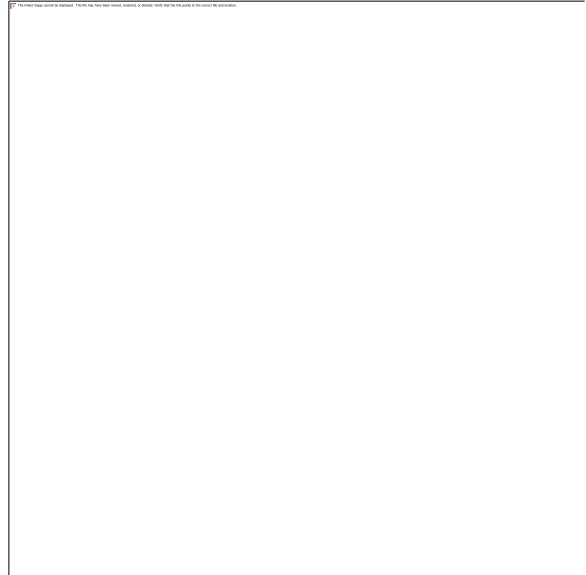
b) If the phase 1 site investigation reveals possible presence of contamination on or beneath the site or controlled waters, then, prior to the commencement of development works, an intrusive site investigation and associated risk assessment shall be completed to fully characterise the nature and extent of any contamination of soils and ground water on the site.

c) In the event that contamination is found that presents a risk to future users or controlled waters or other receptors, a detailed remediation and/or mitigation strategy shall be prepared and submitted to the Local Planning Authority for approval in writing. The strategy shall detail all proposed actions to be taken to bring the site to a condition suitable for the intended use together with any monitoring or maintenance requirements. The scheme shall also ensure that as a minimum, the site should not be capable of being determined as contaminated land under Part IIA of the

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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Environmental Protection Act 1990 in relation to the intended use of the land after remediation. The approved remediation scheme (if one is required) shall be carried out and implemented as part of the development.

d) Following the completion of the works and measures identified in the approved remediation strategy, a verification report providing evidence that all works required by the remediation strategy have been completed, together with any future monitoring or maintenance requirements shall be submitted to and approved in writing by the Local Planning Authority.

e) In the event that potential contamination is found at any time when carrying out the approved development that was not previously identified, it shall be reported in writing immediately to the Local Planning Authority, and a scheme of investigation and risk assessment, a remediation strategy and verification report (if required) shall be submitted to the Local Planning Authority for approval in writing, in accordance with a-d above.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with the National Planning Policy Framework (2023); Policy P56 (Protection of amenity) and Policy P64 (Contaminated land and hazardous substances) of the Southwark Plan (2022).

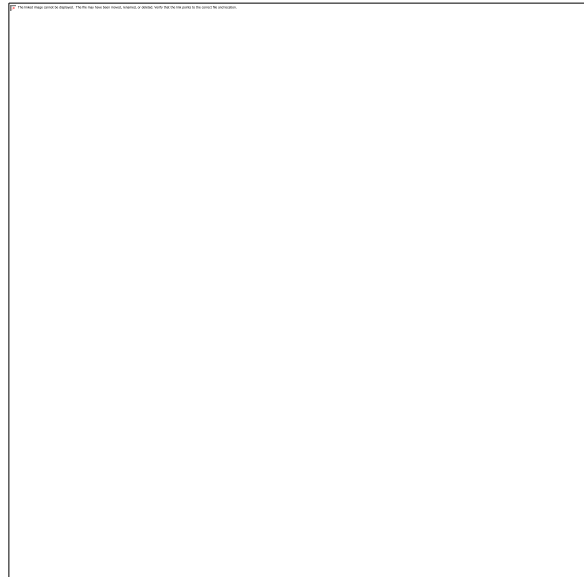
### 7. **Piling Method Statement Required**

No piling shall take place until a piling method statement (detailing the depth and type of piling to be undertaken and the methodology by which

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface water infrastructure, and the programme for the works) has been submitted to and approved in writing by the Local Planning Authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

**Reason:** To ensure adequate protection of water utility infrastructure in accordance with Policy P67 (Reducing water use) of the Southwark Plan (2022). The proposed works will be in close proximity to underground water utility infrastructure. Piling has the potential to impact on local underground water utility infrastructure.

Please read the Thames Water guide 'working near our assets' to ensure your workings will be in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures:

<https://www.thameswater.co.uk/developers/larger-scale-developments/planning-your-development/working-near-our-pipes>

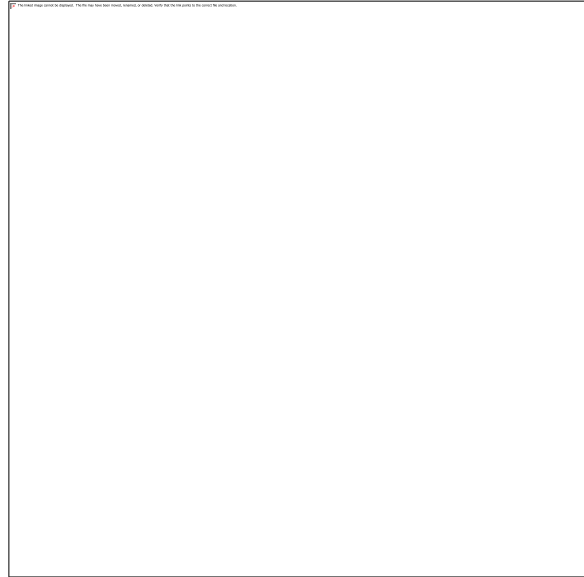
### 8. **Drainage details**

Prior to the commencement of development (other than Excluded Works) full details of the proposed surface water drainage system incorporating Sustainable Drainage Systems (SuDS) have been submitted to and approved in writing by the Local Planning Authority, including detailed design, size and location of attenuation units and details of flow control measures. The strategy should achieve a reduction in surface water runoff rates during the 1% Annual Exceedance Probability (AEP) event plus climate change allowance, as detailed in the Flood Risk Assessment &

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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SuDS Strategy Report prepared by Heyne Tillet Steel (dated 29 February 2024 – Revision 07). The total impermeable area must be accounted for in the drainage calculations (0.696ha). The applicant must demonstrate that the site is safe in the event of blockage/failure of the system, including consideration of exceedance flows. The site drainage must be constructed in accordance with the approved details.

**Reason:** To minimise the potential for the site to contribute to surface water flooding in accordance with Southwark's Strategic Flood Risk Assessment (2017) and Policy SI 13 of the London Plan (2021).

### 9. LANDSCAPE AND ECOLOGICAL MANAGEMENT PLAN

Prior to the commencement of development a Landscape Management Plan, including long-term design objectives, management responsibilities and maintenance schedules for all landscaped areas, shall be submitted to and approved in writing by the Local Planning Authority. The Landscape Management Plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the Local Planning Authority. The scheme shall include the following elements:

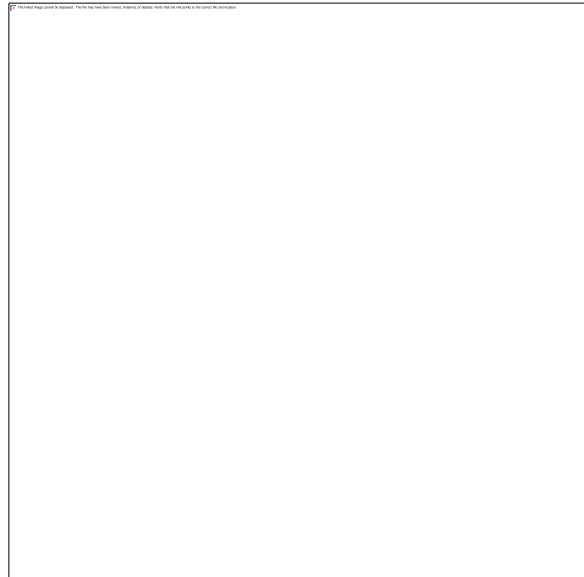
- The roof
- Soft landscaping
- Ecological features to include swift boxes, bat boxes and invertebrate habitats.
- Trees: For stem girths of up to 20cm the schedule shall be a minimum of three years, and five years for stem girths greater than 20cm. The landscape management plan shall be carried out as



## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

approved and any subsequent variations shall be agreed in writing by the local planning authority.

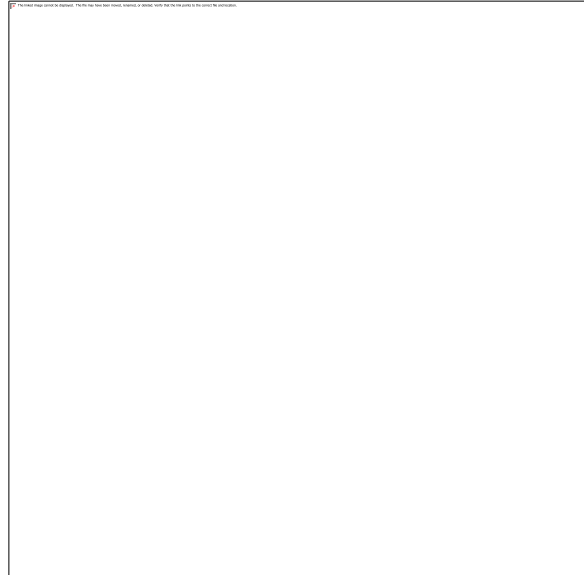
If within a period of five years from the date of the planting of any tree that tree, or any tree planted in replacement for it, is removed, uprooted or destroyed or dies, or becomes, in the opinion of the local planning authority, seriously damaged or defective, another tree of the same species and size as that originally planted shall be planted at the same place in the first suitable planting season., unless the local planning authority gives its written consent to any variation. Works shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 8545 (2014) Trees: from nursery to independence in the landscape; BS3998: (2010) Tree work - recommendations; BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf); EAS 01:2021 (EN) -Tree Pruning Standard; EAS 03:2022 (EN) - Tree Planting Standard.

**Reason:** To ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site, to ensure the management of the public realm and that the Council may be satisfied with the details of the landscaping scheme, in accordance with Chapters 8, 12, 15 and 16 of the National Planning Policy Framework (2023); Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage); G1 (Green infrastructure), G5 (Urban greening), G6 (Biodiversity and access to nature), G7 (Trees and Woodlands) and D8 (Public realm) of the London Plan (2021); Policies P13 (Design of Places), P14 (Design Quality), P56 (Protection of Amenity), P57 (Open Space), P59 (Green infrastructure) and P60 (Biodiversity) of the Southwark Plan (2022).

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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### Permission is subject to the following Above Grade Condition(s)

10. **Fire Strategy**

Prior to the commencement of Above Grade works (other than Excluded Works) final details regarding construction methods and materials contained within a Fire Strategy are to be submitted to and agreed in writing by the Local Planning Authority and such details to be fully implemented and maintained thereafter.

**Reason:** In order to ensure that the fire safety of the proposed development has been duly considered, as required by Policy D12 'Fire safety' of the London Plan (2021).

11. **Details of Fire Appliances**

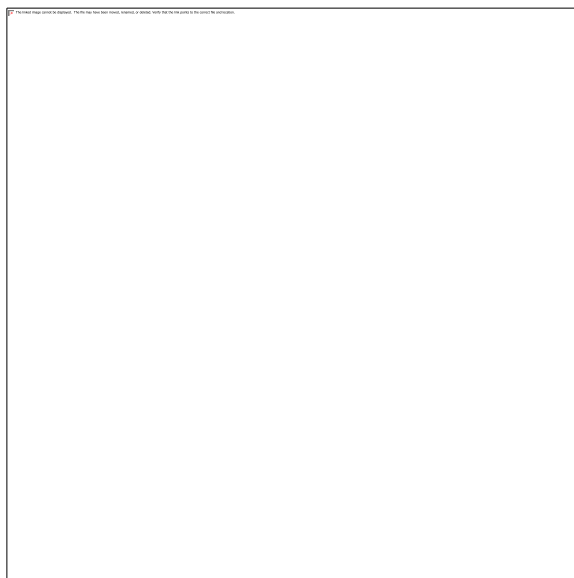
Prior to the commencement of above grade works (other than Excluded Works) details of access for fire appliances as required by part 5B of the Building Regulations and details of adequate water supplies for firefighting purposes shall be submitted to and approved in writing by the Local Planning Authority and such details of access for fire appliances and adequate water supplies for firefighting purposes shall be implemented and secured in perpetuity on completion of the scheme.

**Reason:** To meet the requirements for fire safety set out in policy D12 of the London Plan 2021

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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### 12. **Details of bird and/or bat nesting boxes / bricks**

Prior to the commencement of Above Grade works (other than Excluded Works), details of bird and/or bat nesting boxes / bricks shall be submitted to and approved in writing by the Local Planning Authority to include roof, soft landscaping and ecological features and there shall be no less than 3 bat tubes and 6 Swift boxes across the development as a whole.

**Reason:**

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with policies: G6 of the London Plan 2021, and Strategic Policy SP6 'Climate emergency', and Policy P60 'Biodiversity' of the Southwark Plan 2022

### 13. **Full-scale mock-up**

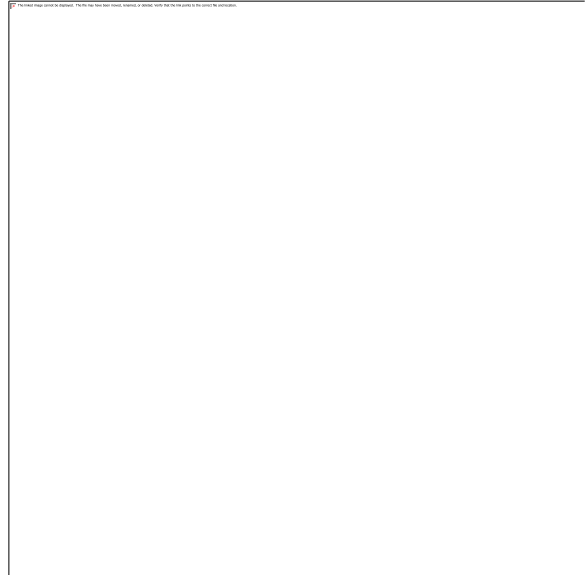
Prior to the commencement of Above Grade works (other than Excluded Works), a full-scale (1:1) mock-ups of the facades to be used in the carrying out of this permission shall be presented on site to the Local Planning Authority and approved in writing. The development shall not be carried out otherwise than in accordance with any such approval given. The façade areas to be mocked up should be agreed with the Local Planning Authority prior to the construction of the mocked-up facades.

**Reason:** In order that the Local Planning Authority may be satisfied that these samples will make an acceptable contextual response in terms of materials to be used, and achieve a quality of design and detailing in accordance with the National Planning Policy Framework 2023, Policy D9

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

Tall Buildings of the London Plan 2021, and Policies: P14 Quality in design; and P17 Tall buildings of The Southwark Plan 2022.

### 14. **Secured by Design**

Prior to the commencement of Above Grade works (other than Excluded Works), details of security measures which accord with the principles and objectives of Secured by Design shall be submitted to and approved in writing by the Local Planning Authority and any such approved security measures shall be implemented prior to Occupation in accordance with the approved details which shall seek to achieve the 'Secured by Design' accreditation award from the Metropolitan Police.

#### **Reason:**

In pursuance of the Local Planning Authority's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions and to improve community safety and crime prevention in accordance with The National Planning Policy Framework 2023, and Policy P16 Designing out crime of the Southwark Plan 2022.

### 15. **Blue/ green/ brown roof(s)**

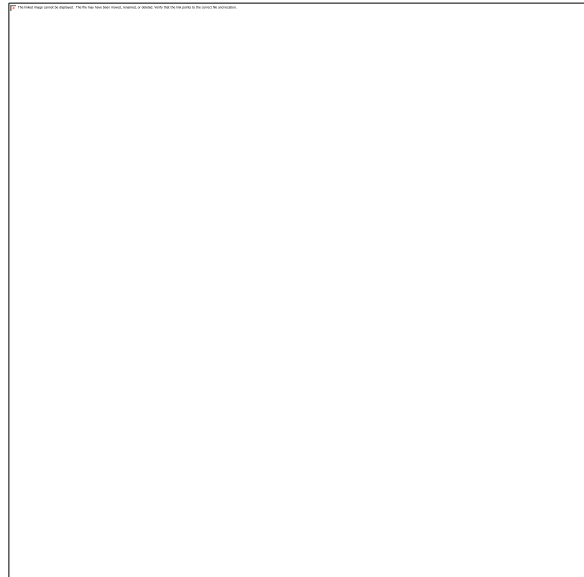
Prior to the commencement of Above Grade works (other than Excluded Works), details of the blue/ green/ brown roof(s) shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity blue/ green/ brown roof(s) shall be:

- \* blue roof(s) with vegetation layer over structure.

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

- \* laid out in accordance with agreed roof plans; and
- \* planted/seeded or covered with a vegetation mat with an agreed mix of species within the first planting season following the practical completion of the building works.

The biodiversity blue/ green/ brown roof(s) shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair or escape in case of emergency.

The biodiversity blue/ green/ brown roof(s) shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter. The Local Planning Authority shall discharge this condition on receiving and agreeing the details of the blue/green/brown roof(s) Details approved shall thereby be carried out in accordance with the approved plans.

**Reason:**

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with: Policies G1 (Green Infrastructure) and G5 (Urban Greening) and of the London Plan 2021; and Strategic Policy SP6 'Climate emergency', and Policies P59 'Green infrastructure'; and P60 'Biodiversity'; of the Southwark Plan 2022

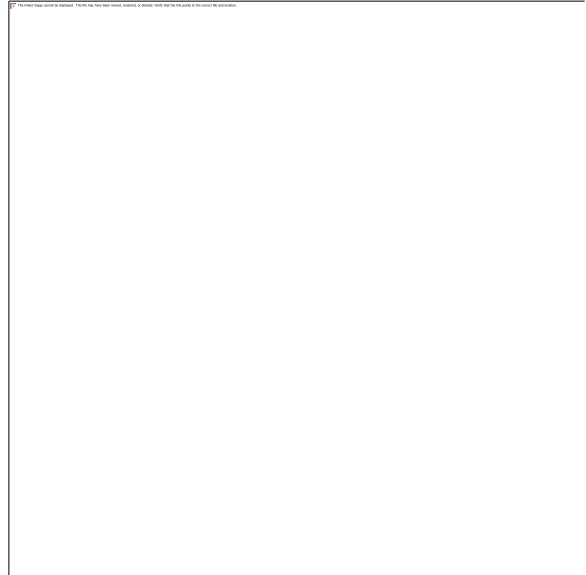
**16. Full particulars of the sprinkler system**

Prior to the commencement of Above Grade works (other than Excluded Works), full particulars of the sprinkler system to be used within the Development shall be submitted to and approved by the Local Planning Authority. The development shall not be carried out otherwise than in

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

accordance with any approval given.

**Reason:**

To ensure that there is an adequate level of fire safety within the approved development.

17. **Detailed lighting strategy and design**

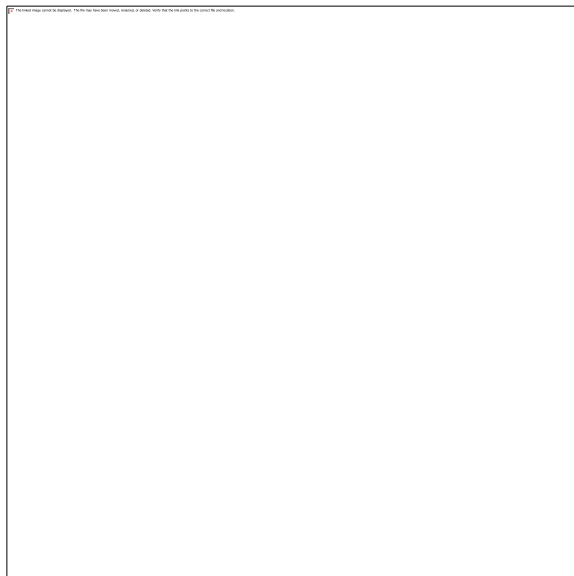
Prior to the installation of any lighting, a detailed lighting strategy and design for all internal and external lighting, demonstrating compliance with the Institute of Lighting Professionals (ILP) Guidance Notes, shall be submitted to and approved in writing by the Local Planning Authority. If mitigation is required to avoid harmful light pollution or light spillage it shall be implemented prior to the first use of the building and retained as such thereafter.

**Reason:**

In order that the Council may be satisfied as to the details of the development in the interest of the visual amenity of the area, the amenity and privacy of adjoining occupiers, and their protection from light nuisance, in accordance with The National Planning Policy Framework 2023, Strategic Policy 12 Design and Conservation and Policies P56 'Protection of amenity' and P16 'Designing out crime' of the Southwark Plan 2022.

18. **Hard and soft landscaping**

Before any above grade work hereby authorised begins, detailed drawings of a hard and soft landscaping scheme showing the treatment of all parts of

**DECISION NOTICE****LBS Registered Number:** 23/AP/0948**Date of issue of this decision:**

[www.southwark.gov.uk](http://www.southwark.gov.uk)

the site not covered by buildings shall be submitted to and approved in writing by the Local Planning Authority. The site shall be landscaped strictly in accordance with the approved details in the first planting season after completion of the development. Details shall include:

- 1) a scaled plan showing all existing vegetation and landscape features to be retained with proposed trees, hedging, perennial and other plants;
- 2) proposed parking, access, or pathway layouts, materials and edge details;
- 3) location, type and materials to be used for hard landscaping including specifications, where applicable for:
  - a) permeable paving
  - b) tree pit design
  - c) underground modular systems
  - d) sustainable urban drainage integration
  - e) use within tree Root Protection Areas (RPAs);
- 4) typical cross sections;
- 5) a schedule detailing sizes and numbers/densities of all proposed trees/plants;
- 6) specifications for operations associated with plant establishment and maintenance that are compliant with best practice; and
- 7) types and dimensions of all boundary treatments.

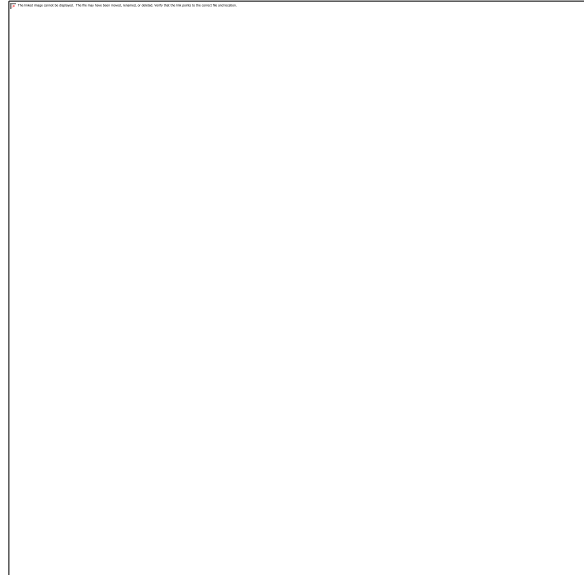
There shall be no excavation or raising or lowering of levels within the prescribed root protection area of retained trees unless agreed in writing by the Local Planning Authority.

The landscaping shall not be carried out otherwise than in accordance with

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

any such approval given and shall be retained for the duration of the use. Any trees, shrubs, grass or other planting that is found to be dead, dying, severely damaged or diseased within five years of the completion of the building works OR five years of the carrying out of the landscaping scheme (whichever is later), shall be replaced in the next planting season by specimens of the equivalent stem girth and species in the first suitable planting season.

Unless required by a separate landscape management condition, all soft landscaping shall have a written five-year maintenance programme following planting.

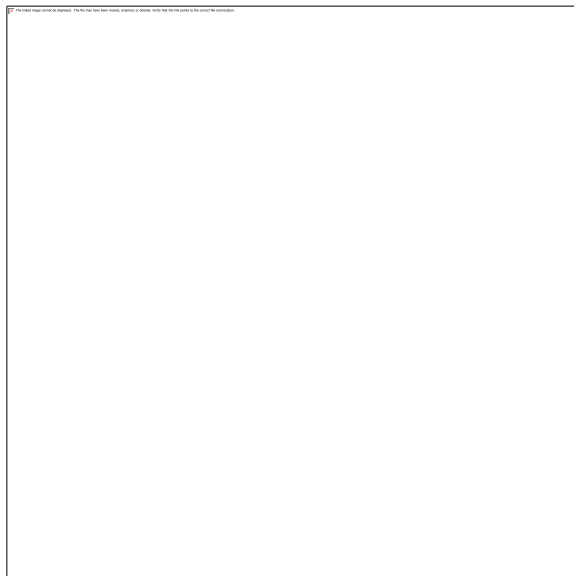
Works shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 5837 (2012) Trees in relation to demolition, design and construction; BS3998: (2010) Tree work - recommendations, BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf); EAS 03:2022 (EN) - Tree Planting Standard.

**Reason:**

So that the Council may be satisfied with the details of the landscaping scheme, in accordance with: Chapters 8, 12, 15 and 16 of the National Planning Policy Framework 2023; Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure, G5 (Urban Greening) and G7 (Trees and Woodlands) of the London Plan 2021; Policy P13 (Design of Places), Policy P14 (Design Quality), Policy P56 (Protection of Amenity), Policy P57 (Open Space), Policy P60 (Biodiversity) and P61 (Trees) of the Southwark Plan (2022).

19. **Invertebrate habitats**



**DECISION NOTICE****LBS Registered Number:** 23/AP/0948**Date of issue of this decision:**[www.southwark.gov.uk](http://www.southwark.gov.uk)

Prior to the commencement of Above Grade works (other than Excluded Works), details of Bee bricks and/or invertebrate hotels shall be submitted to and approved in writing by the Local Planning Authority.

Not less than 6 Bee bricks and/or invertebrate hotels shall be provided, and the details shall include the exact location, specification and design of the habitats. Bee bricks and/or invertebrate hotels shall be installed within the Development prior to Occupation.

The Bee bricks and/or invertebrate hotels shall be installed strictly in accordance with the details so approved and shall be maintained as such thereafter. Discharge of this condition will be granted on receiving the details of the invertebrate features and mapped locations and the Local Planning Authority agreeing the submitted plans, and once the invertebrate features are installed in full in accordance with the agreed plans.

**Reason:**

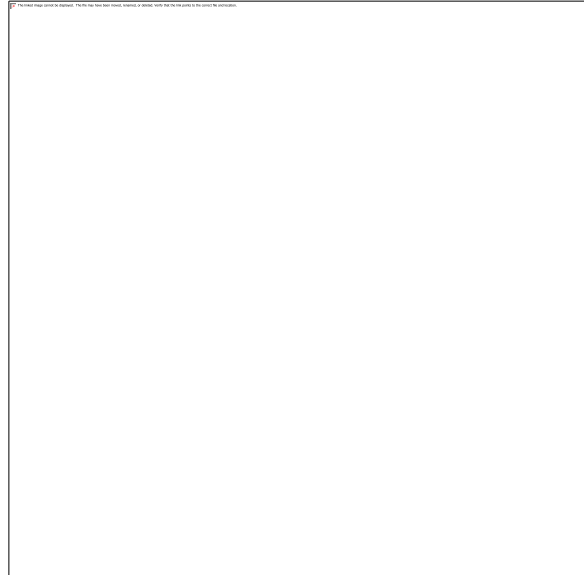
To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with policies: G6 of the London Plan 2021, P59 and P60 of the Southwark Plan 2022

**Permission is subject to the following Pre-Occupation Condition(s)****20. Bat friendly lighting**

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

Prior to Occupation of the Development, a bat friendly Lighting Plan shall be submitted to and approved by the Local Planning Authority.

The recommended lighting specification using LED's (at 3 lux) because they have little UV. The spectrum recommended is 80% amber and 20% white with a clear view, no UV, horizontal light spread ideally less than 70° and a timer.

If required a 3D plan of the illumination level should be supplied so the Local Planning Authority can assess potential impact on protected species.

**Reason:** To ensure compliance with the Habitats Regulations and the Wildlife & Countryside Act (1981), (as amended), and because bats are known to be active in vicinity of the development site

### 21. **Digital connectivity infrastructure**

Prior to Occupation of the Development, detailed plans shall be submitted to and approved in writing by the Local Planning Authority demonstrating the provision of sufficient ducting space for full fibre connectivity infrastructure within the development. The development shall be carried out in accordance with the approved plans and maintained as such in perpetuity.

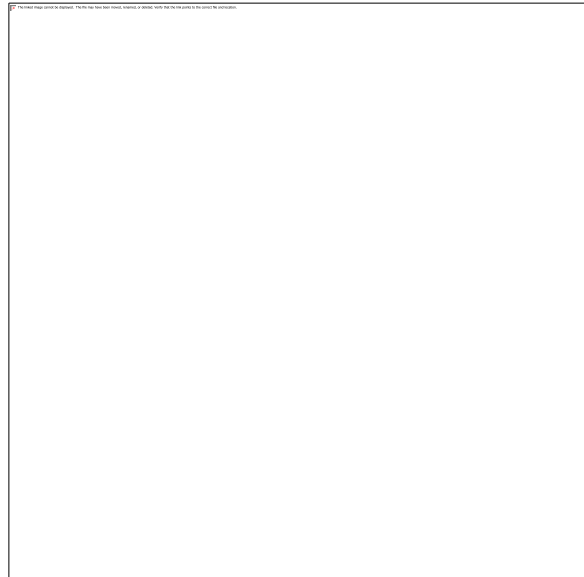
**Reason:**

To provide high quality digital connectivity infrastructure to contribute to London's global competitiveness, in accordance with the National Planning Policy Framework 2023, and Policy SI 6 (Digital Connectivity Infrastructure) of the London Plan 2021.

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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### 22. **Commercial Refuse Storage**

Prior to Occupation of the Development, details of the arrangements for the storing of commercial refuse shall be submitted to and approved in writing by the Local Planning Authority and the facilities approved shall be provided and made available for use by the Occupiers. The facilities shall thereafter be retained and shall not be used for any other purpose.

**Reason:**

To ensure that the refuse will be appropriately stored within the site thereby protecting the amenity of the site and the area in general from litter, odour and potential vermin/pest nuisance in accordance with The National Planning Policy Framework 2023, and Policies P56 'Protection of amenity' and P62 'Reducing waste' of The Southwark Plan 2022

### 23. **Fire Evacuation lift**

Prior to Occupation of the Development, details shall be submitted to and approved in writing by the local planning authority demonstrating that a minimum of one lift per core will be a suitably sized fire evacuation lift suitable to be used to evacuate people who require level access from the building. The Development shall be carried out in accordance with these details and maintained as such in perpetuity.

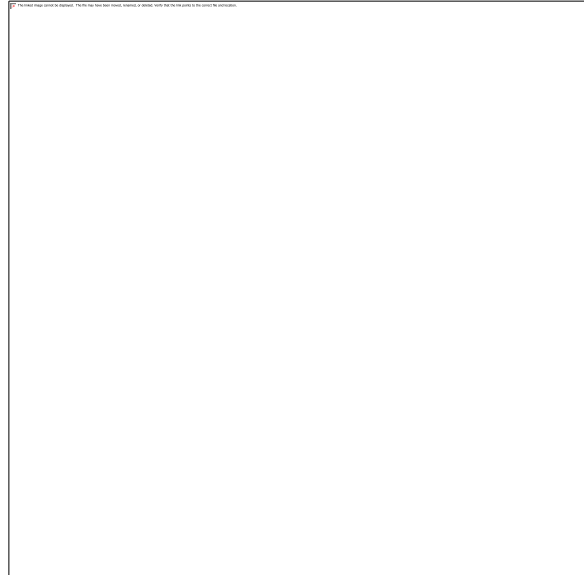
**Reason:**

In order to ensure that the proposed development complies with the requirements of the London Fire Brigade and Policy D12 Fire Safety of the

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

London Plan 2021

### 24. **Drainage verification report**

Prior to Occupation of the Development a drainage verification report as prepared by a suitably qualified engineer shall be submitted to and approved in writing by the Local Planning Authority. The report shall provide evidence that the drainage system (incorporating SuDS) has been constructed according to the approved details and specifications (or detail any minor variations where relevant) as detailed in the Flood Risk Assessment & SuDS Strategy Report prepared by Heyne Tillett Steel (dated February 2024 - Revision: 07) and shall include plans, photographs and national grid references of key components of the drainage network such as surface water attenuation structures, flow control devices and outfalls. The report shall also include details of the responsible management company.

**Reason:**

To ensure that the surface water drainage complies with Southwark's Strategic Flood Risk Assessment (2017) and Policy SI 13 of the London Plan (2021).

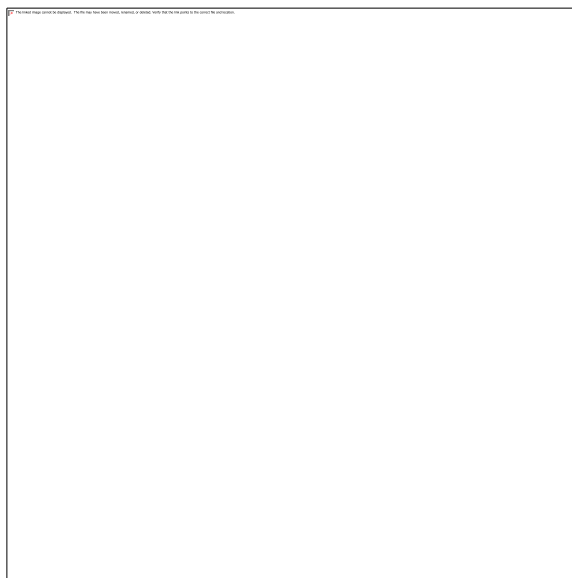
### 25. **Circular Economy Post Completion Report**

Prior to Occupation of the Development, a Post Completion Report setting out the predicted and actual performance against all numerical targets in the relevant Circular Economy Statement shall be submitted to the GLA at: [CircularEconomyLPG@london.gov.uk](mailto:CircularEconomyLPG@london.gov.uk), along with any supporting evidence

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

as per the GLA's Circular Economy Statement Guidance.

The Post Completion Report shall provide updated versions of Tables 1 and 2 of the Circular Economy Statement, the Recycling and Waste Reporting form and Bill of Materials. Confirmation of submission to the GLA shall be submitted to, the Local Planning Authority.

**Reason:**

In the interests of sustainable waste management and in order to maximise the re-use of materials.

### 26. **Whole Life Carbon Assessment**

Prior to Occupation of the Development the post-construction tab of the GLA's whole life carbon assessment template should be completed accurately and in its entirety in line with the GLA's Whole Life Carbon Assessment Guidance. The post-construction assessment should provide an update of the information submitted at planning submission stage, including the whole life carbon emission figures for all life-cycle modules based on the actual materials, products and systems used. This should be submitted to the GLA at: [ZeroCarbonPlanning@london.gov.uk](mailto:ZeroCarbonPlanning@london.gov.uk), along with any supporting evidence as per the guidance. Confirmation of submission to the GLA shall be submitted to, the Local Planning Authority, prior to Occupation of the Development.

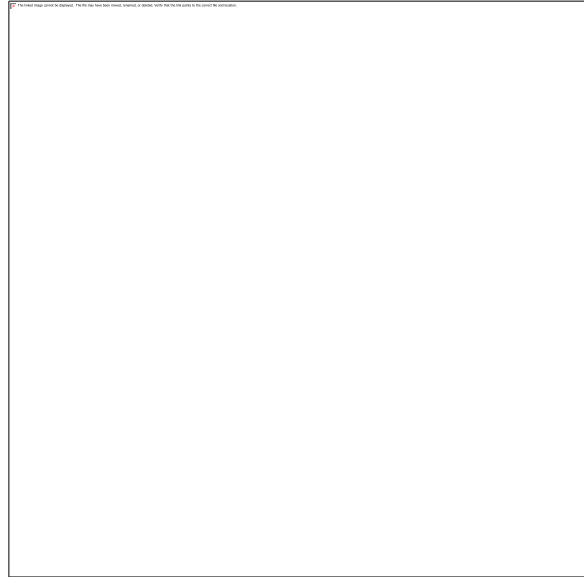
**Reason:**

In order to comply with London Plan Policy SI 2 and Policy P70 of the Southwark Local Plan, 2022.

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

### 27. **Flood Risk and Evacuation Plan**

Prior to the Occupation of the Development, a Flood Risk and Evacuation Plan should be submitted to and approved in writing by the Local Planning Authority in conjunction with Southwark's Emergency Planning team. The plan should state how Occupants will be made aware that they can sign up to the Environment Agency Flood Warning services, and of the plan itself. The plan should provide details of how Occupants should respond in the event that they receive a flood warning or become aware of a flood.

**Reason:**

In order to comply with Policy SI 5 of the London Plan, 2021

### 28. **BREEAM**

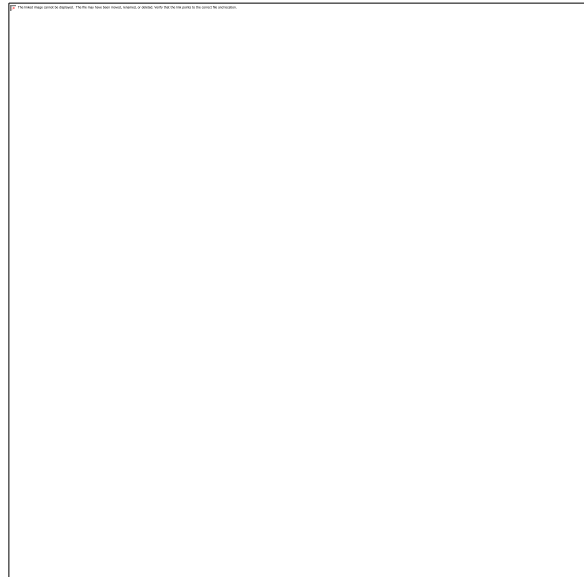
(a) Before the commencement of any fit out works to the Development, an independently verified BREEAM Design Stage report (detailing performance in each category, overall score, BREEAM rating and a BREEAM certificate of building performance) to achieve a minimum 'excellent' rating (unless otherwise agreed by the Local Planning Authority) shall be submitted to and approved in writing by the Local Planning Authority and the Development shall not be carried out otherwise than in accordance with any such approval given;

(b) Within 6 months of the first occupation of the building hereby permitted, a certified Post Construction Review (or other verification process agreed with the local planning authority) shall be submitted to and approved in writing by the Local Planning Authority, confirming that the agreed standards at (a) have been met.

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

**Reason:**

To ensure the proposal complies with the National Planning Policy Framework, 2023; Policy P69 ('Sustainability standards') of the Southwark Local Plan, 2022 and Policy SI2 ('Minimising greenhouse gas emissions') of the London Plan 2021.

29. **Ecological Monitoring**

Prior to the Development being Occupied, a scheme for monitoring the effectiveness of the biodiversity mitigation and enhancement measures shall be submitted to and approved in writing by the Local Planning Authority. This shall include: Annual protected species surveys of created features, botanical/bird/invertebrate surveys of created habitats and use of bird or bat boxes); and for monitoring to be carried out and reported to the Local Planning Authority in accordance with the agreed scheme for a period of 30 years and for surveys to be undertaken in years 1, 3, 5, 7, 10, 15, 20, 25 and 30. Species results will be submitted to the London Biological Records Centre, Greenspace Information for Greater London (GIGL).

**Reason:**

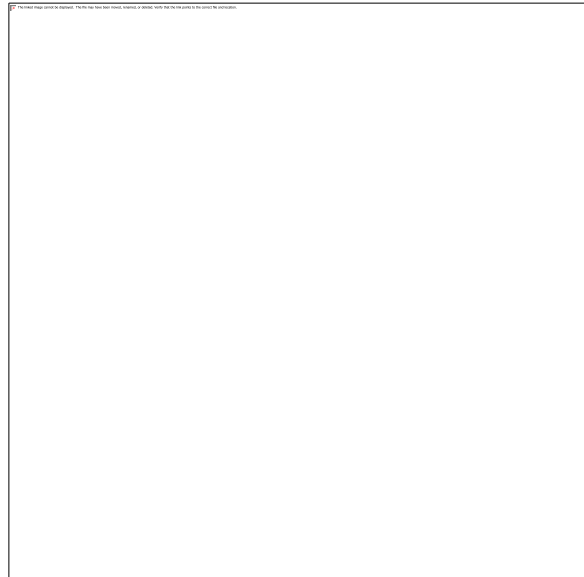
To comply with the Biodiversity Net Gain requirements of the Environment Act 2021. To measure the effectiveness of biodiversity mitigation and/or enhancement measures, to see whether the measures achieve the expected biodiversity benefits. This will help refine the design of net gain/mitigation schemes to ensure effective measures are delivered in future developments.

30. **Operational Management Plan**

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

Prior to the Occupation of the Development, an operational management plan shall be submitted to and approved in writing by the Local Planning Authority. The submitted details must include but shall not be limited to the following:

- (i) A strategy to manage vehicles (including cargo bikes) servicing and delivering from the site;
- (ii) Anticipated Frequency and timings of deliveries to and from the site;
- (iii) The management of loading and unloading of vehicles delivering to and from the site;

The use of the Development shall thereafter be carried on in accordance with the approved operational management plan.

**Reason:**

To ensure highway safety and to protect the amenities of neighbouring occupiers.

### **Permission is subject to the following Compliance Condition(s)**

#### **31. Background, Rating and Specific Sound levels**

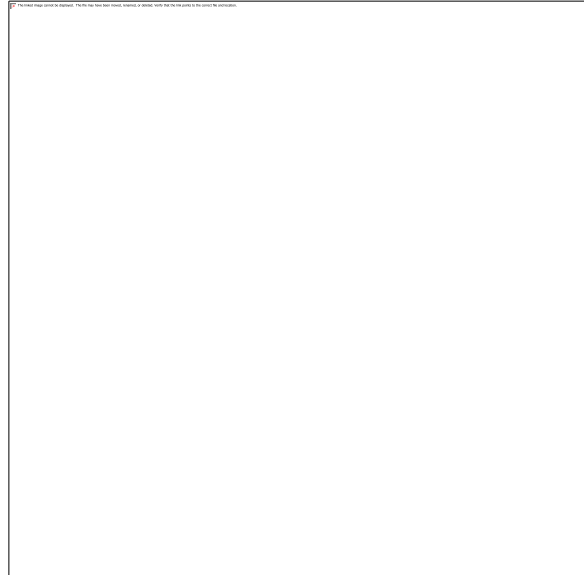
The rated sound level from any plant forming part of the Development together with any associated ducting, shall not exceed the Background sound level (LA90 15min) at the nearest noise sensitive premises. Furthermore, the Specific plant sound level shall be 10dB(A) or more below the background sound level in this location. For the purposes of this



## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

condition the Background, Rating and Specific Sound levels shall be calculated fully in accordance with the methodology of BS4142:2014+A1:2019.

Suitable acoustic treatments shall be used to ensure compliance with the above standard. A validation test shall be carried out and the results submitted to the Local Planning Authority for approval in writing to demonstrate compliance with the above standard. Once approved the plant and any acoustic treatments shall be permanently maintained thereafter.

**Reason:**

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment from noise creep due to plant and machinery in accordance with the National Planning Policy Framework 2023, and Policy P56 'Protection of Amenity' of the Southwark Local Plan 2022.

32. **Parking permit restriction**

No employer or employee of any part of the Development hereby permitted, with the exception of disabled persons, shall seek, or will be allowed, to obtain a parking permit within any future controlled parking zone in Southwark in which the application site is situated.

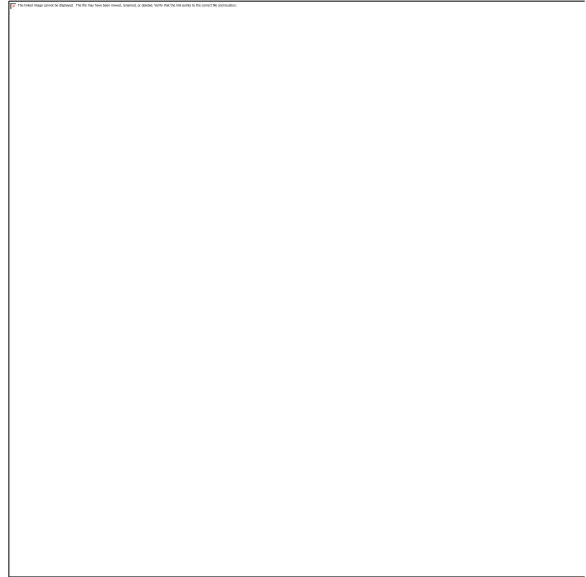
**Reason:**

To ensure compliance with Strategic Policy 6 'Climate emergency' of the Southwark Plan 2022.

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

### 33. **Cycle parking facilities**

The cycle parking facilities shall be provided prior to the Occupation of the Development and thereafter shall be retained and the space used for no other purpose and the Development shall not be carried out otherwise in accordance with any such approval given.

**Reason:**

In order to ensure that satisfactory safe and secure cycle parking facilities are provided and retained in order to encourage the use of cycling as an alternative means of transport to the development and to reduce reliance on the use of the private car in accordance with the National Planning Policy Framework 2023; Policy T5 of the London Plan 2021; Strategic Policy 6 'Climate emergency' and Policy P53 'Cycling' of the Southwark Plan 2022.

### 34. **Blue Badge Parking**

Provision of one Blue Badge Parking bay as identified on drawing '18189-121B - PROPOSED SITE PLAN – VERNEY ROAD - REV B, shall be provided in accordance with BS8300 requirements prior to the Occupation of the Development and retained thereafter unless as otherwise agreed in writing by the Local Planning Authority.

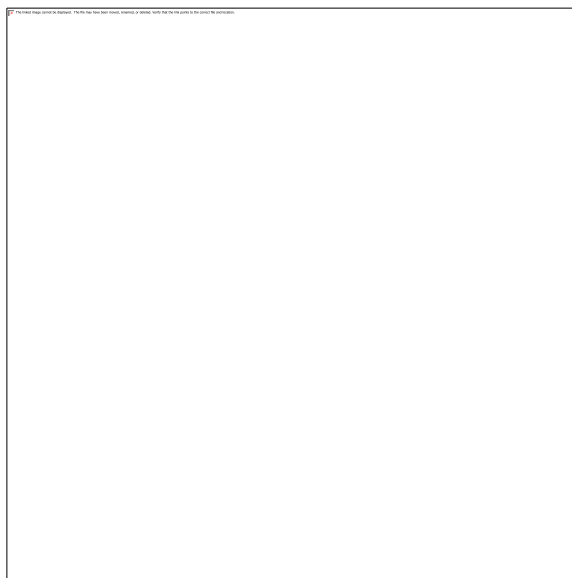
**Reason:**

To encourage more sustainable travel in accordance with the National Planning Policy Framework, 2023 and Policy P54 Car Parking of the Southwark Plan, 2022.

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

### 35. **Electric Vehicle Charging Points**

Electric Vehicle Charging Points (EVCPs) are required to London Plan standards, which as of 2023 are 20% active and 80% passive provision, considering all parking spaces, and should be maintained in perpetuity.

**Reason:**

To encourage more sustainable travel in accordance with the National Planning Policy Framework, 2023 and Policy P54, Car Parking of the Southwark Plan, 2022.

### 36. **Restriction on external telecommunications equipment**

Notwithstanding the provisions of Part 16 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as may be amended or re-enacted) no external telecommunications equipment or structures shall be placed on the roof or any other part of a building hereby permitted without express planning permission from the Local Planning Authority first being obtained (including as may be shown on the plans approved pursuant to this planning permission)..

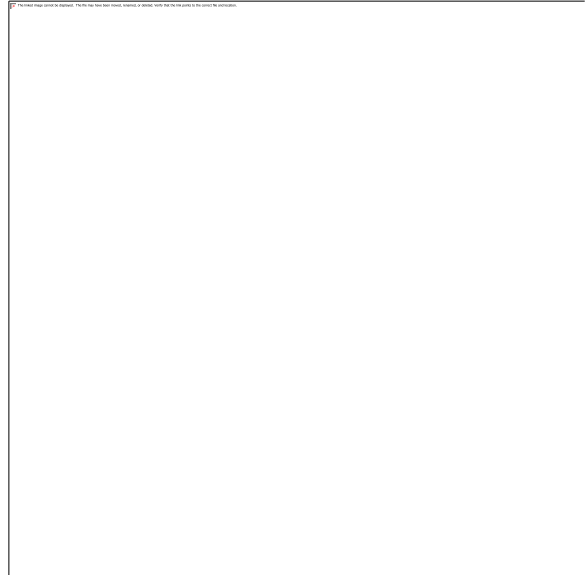
**Reason:**

In order to ensure that no telecommunications plant or equipment which might be detrimental to the design and appearance of the building and visual amenity of the area is installed on the roof of the building in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); and Policies P13 'Design of places', and P56 'Protection of amenity' of the Southwark Plan, 2022.

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

### 37. **No roof plant, equipment or other structures**

No roof plant, equipment or other structures, other than as shown on the plans hereby approved or approved pursuant to a condition of this permission, shall be placed on the roof or be permitted to project above the roofline of any part of the buildings as shown on elevational drawings or shall be permitted to extend outside of the roof plant enclosures of any buildings hereby permitted unless as otherwise agreed in writing by the Local Planning Authority.

**Reason:**

In order to ensure that no additional plant is placed on the roof of the building in the interest of the appearance and design of the building and the visual amenity of the area in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); and Policies P13 'Design of places', and P56 'Protection of amenity' of the Southwark Plan 2022.

### 38. **Boxes, flues, vents or pipes**

No boxes, flues, vents or pipes [other than rainwater pipes] or other appurtenances not shown on the approved drawings shall be fixed or installed on the street elevation of the building.

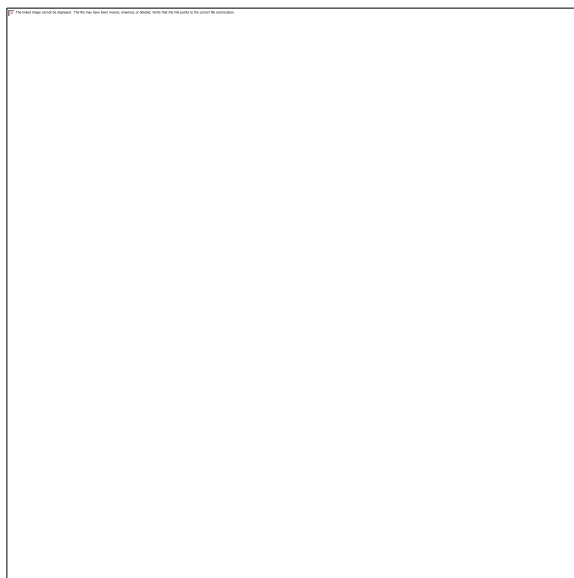
**Reason:**

To ensure such works do not detract from the appearance of the building

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

(s) in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2023); Policy D4 (Delivering good design) of the London Plan (2021); and Policies P13 'Design of places'; P14 'Design quality', and P56 'Protection of amenity' of the Southwark Plan 2022.

### 39. **Roof Terrace Opening Hours**

The roof terraces shall not be used outside the hours of 09.00 – 20:00 except in cases of essential maintenance or repair or escape in case of emergency.

**Reason:**

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment in accordance with policies P56 (Protection of amenity) and P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan 2022, and the National Planning Policy Framework 2023.

### 40. **Acoustic mitigation**

a) The dwellings hereby permitted shall be designed to ensure that the following internal noise levels are not exceeded due to environmental noise:

Bedrooms - 35dB LAeq T\*\*, 30 dB LAeq T\* 45dB LAFmax T\*  
Living and Dining rooms - 35dB LAeq T\*\*.

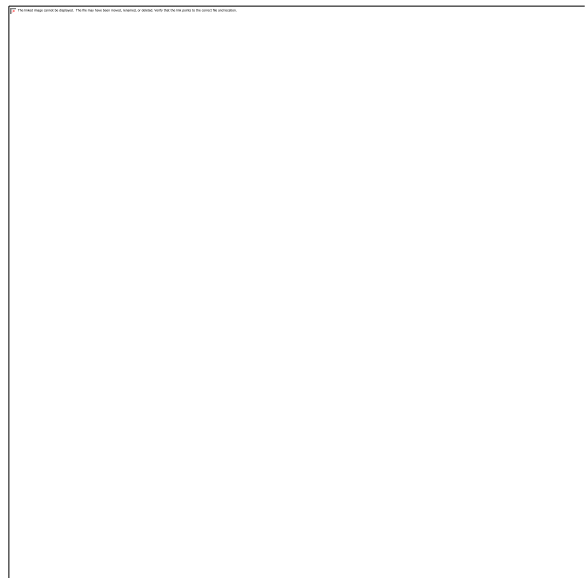
\* - Night-time - 8 hours between 23:00-07:00

\*\* - Daytime - 16 hours between 07:00-23:00

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

**Reason:**

To ensure that the occupiers and users of the development do not suffer a loss of amenity by reason of excess noise from environmental and transportation in accordance the National Planning Policy Framework (2023); Policy P56 (Protection of amenity); and Policy P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan (2022).

:

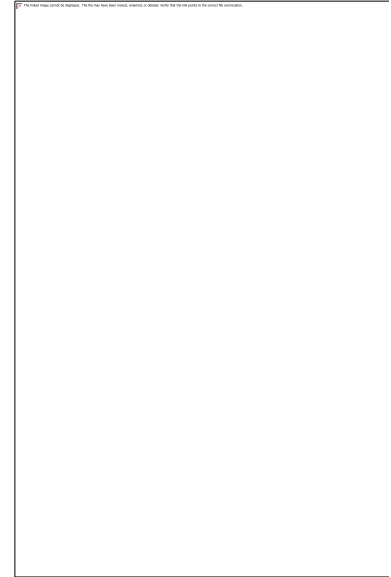
Signed: *Stephen Platts*

Director of Planning and Growth

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



[www.southwark.gov.uk](http://www.southwark.gov.uk)

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### Informative Notes to Applicant Relating to the Proposed Development

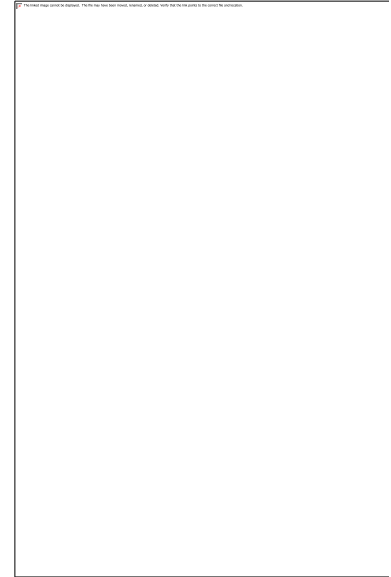
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1. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
2. A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing [trade.effluent@thameswater.co.uk](mailto:trade.effluent@thameswater.co.uk). Application forms should be completed online via [www.thameswater.co.uk](http://www.thameswater.co.uk). Please refer to the Wholesale; Business customers; Groundwater discharges section.
3. We recommend that the requirements of the National Planning Policy Framework and National Planning Policy Guidance (NPPG) are followed. This means that all risks to groundwater and surface waters from contamination need to be identified so that appropriate remedial action can be taken. This should be in addition to the risk to human health which should

## DECISION NOTICE

**LBS Registered Number:** 23/AP/0948

**Date of issue of this decision:**



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be considered by the Local Authority's environmental health department. We expect reports and risk assessments to be prepared in line with our groundwater protection guidance (previously covered by the GP3) and Land Contamination Risk Management principles (Model procedures for the management of land contamination). In order to protect groundwater quality from further deterioration:

- o No infiltration-based sustainable drainage systems (SuDS) should be constructed on land affected by contamination, as contaminants can remobilise and cause groundwater pollution.
- o Piling, or any other foundation designs using penetrative methods, must not cause preferential pathways for contaminants to migrate to groundwater and cause pollution. If Piling is proposed, a Piling Risk Assessment must be submitted, written in accordance with EA guidance document "Piling and Penetrative Ground Improvement Methods on Land Affected by Contamination: Guidance on Pollution Prevention. National Groundwater & Contaminated Land Centre report NC/99/73".
- o Investigative boreholes must be decommissioned to ensure that redundant boreholes are safe and secure, and do not cause groundwater pollution or loss of water supplies, in line with the National Planning Policy Framework.



## Planning Policies

### Adopted planning policy

#### National Planning Policy Framework (NPPF)

1. The revised National Planning Policy Framework ('NPPF'), updated in 2023, sets out the national planning policy and how this should be applied. The NPPF focuses on sustainable development with three key objectives: economic, social and environmental. At its heart is a presumption in favour of sustainable development.
2. Paragraph 215 states that the policies in the Framework are material considerations which should be taken into account in dealing with applications.
3. The relevant chapters of the NPPF are:
  - Chapter 2 - Achieving sustainable development
  - Chapter 6 - Building a strong, competitive economy
  - Chapter 7 - Ensuring the vitality of town centres
  - Chapter 8 - Promoting healthy and safe communities
  - Chapter 9 - Promoting sustainable transport
  - Chapter 11 - Making effective use of land
  - Chapter 12 - Achieving well-designed places
  - Chapter 14 - Meeting the challenge of climate change, flooding and coastal change
  - Chapter 15 - Conserving and enhancing the natural environment
  - Chapter 16 - Conserving and enhancing the historic environment

#### London Plan

4. In March 2021, the Mayor of London published the London Plan. The spatial development strategy sets a strategic framework for planning in Greater London and forms part of the statutory Development Plan for Greater London.
5. The strategic objectives of the London Plan are to build strong and inclusive communities, make the best use of land, promote a healthy city, optimise housing delivery including affordable housing, conserve and enhance London's global competitiveness, and move towards a more resilient and sustainable city. Development proposals must comply with the various policies within the Plan and should follow the guidance set out within Supplementary Planning Documents, Guidance and Strategies.
6. The relevant policies of the London Plan are:
  - GG1 - Building strong and inclusive communities
  - GG2 - Making the best use of land

- GG3 - Creating a healthy city
- GG5 - Growing a good economy
- GG6 - Increasing efficiency and resilience
- Policy SD1 - Opportunity Areas
- Policy SD6 - Town centres and high streets
- Policy SD7 - Town centres: development principles and development plan documents
- Policy SD10 - Strategic and local regeneration
- Policy D1 - London's form, character and capacity for growth
- Policy D3 - Optimising site capacity through design-led approach
- Policy D4 - Delivering good design
- Policy D5 - Inclusive design
- Policy D8 - Public realm
- Policy D9 - Tall buildings
- Policy D11 - Safety, security and resilience to emergency
- Policy D12 - Fire safety
- Policy D13 - Agent of change
- Policy D14 - Noise
- Policy E1 -Offices
- Policy E2 - Providing suitable business space
- Policy E3 - Affordable workspace
- Policy E11 - Skills and opportunities for all
- Policy HC1 - Heritage conservation and growth
- Policy HC3 - Strategic and local views
- Policy G1 - Green infrastructure
- Policy G5 - Urban greening
- Policy G6 - Biodiversity and access to nature
- Policy SI 1 - Improving air quality
- Policy SI 2 - Minimising greenhouse gas emissions
- Policy SI 3 - Energy infrastructure
- Policy SI 4 - Managing heat risk
- Policy SI 5 - Water infrastructure
- Policy SI 6 - Digital connectivity infrastructure
- Policy SI 7 - Reducing waste and supporting the circular economy
- Policy SI 8 - Waste capacity and net waste self-sufficiency
- Policy SI 12 - Flood risk management
- Policy SI 13 - Sustainable drainage
- Policy T1 - Strategic approach to transport
- Policy T2 - Healthy Streets
- Policy T3 - Transport capacity, connectivity and safeguarding
- Policy T4 - Assessing and mitigating transport impacts
- Policy T5 - Cycling
- Policy T6 - Car parking
- Policy T6.5 - Non-residential disabled persons parking
- Policy T7 - Deliveries, servicing and construction
- Policy T9 - Funding transport infrastructure through planning
- Policy DF1 - Delivery of the Plan and Planning Obligations

## Relevant London-level Supplementary Planning Documents/ Guidance and Strategies

7. The relevant London-level supplementary planning documents and guidance documents are as follows:
- Mayor of London: Accessible London - Achieving an Inclusive Environment (SPG, 2004)
  - Mayor of London: 'Be Seen' Energy Monitoring Guidance LPG (2022)
  - Mayor of London: Circular Economy Statements (LPG, 2022)
  - Mayor of London: Climate Change Mitigation and Energy Strategy (2010)
  - Mayor of London: Climate Change Adaptation Strategy (2011)
  - Mayor of London: Environment Strategy (2018)
  - Mayor of London: London View Management Framework (SPG, 2012)
  - Mayor of London: Planning for Equality and Diversity in London (SPG, 2007)
  - Mayor of London: Public London Charter (2012)
  - Mayor of London: Shaping Neighbourhoods - Character and Context (SPG, 2014)
  - Mayor of London: The Control of Dust and Emissions During Construction and Demolition (SPG, 2014)
  - Mayor of London: Transport Strategy (2018)
  - Mayor of London: Whole Life Carbon Assessments (LPG, 2022)

## Draft GLA guidance (emerging material considerations)

8. To support the London Plan 2021, the GLA has drafted further London Planning Guidance (LPG) on topic areas including:
- Mayor of London: Air Quality Neutral (draft)
  - Mayor of London: Fire Safety (draft)
  - Mayor of London: Optimising site capacity: a design-led approach (draft)
  - Mayor of London: Sustainable transport, walking and cycling (draft)
  - Mayor of London: Urban Greening Factor (draft)

## Southwark Plan

9. The Southwark Plan, published in February 2022, includes Strategic Policies, Area Visions and Development Management Policies. The most relevant strategic policies are as follows:
- ST1 - Southwark's Development Targets
  - ST2 - Southwark's Places
  - SP2 - Southwark Together
  - SP3 - A great start in life
  - SP4 - Green and inclusive economy

- SP5 - Thriving and neighbourhoods and tackling health equalities
- SP6 - Climate emergency
- Policy P13 - Design of places
- Policy P14 - Design quality
- Policy P16 - Designing out crime
- Policy P17 - Tall Buildings
- Policy P18 - Efficient use of land
- Policy P19 - Listed buildings and structures
- Policy P21 - Conservation of the historic environment and natural heritage
- Policy P23 - Archaeology
- Policy P28 - Access to employment and training
- Policy P35 - Town and local centres
- Policy P44 - Broadband and digital infrastructure
- Policy P49 - Public transport
- Policy P50 - Highway impacts
- Policy P51 - Walking
- Policy P53 - Cycling
- Policy P54 - Car parking
- Policy P55 - Parking standards for disabled people and the physically impaired
- Policy P56 - Protection of amenity
- Policy P59 - Green infrastructure
- Policy P60 - Biodiversity
- Policy P62 - Reducing waste
- Policy P64 - Contaminated land and hazardous substances
- Policy P65 - Improving air quality
- Policy P66 - Reducing noise pollution and enhancing soundscapes
- Policy P67 - Reducing water use
- Policy P68 - Reducing flood risk
- Policy P69 - Sustainability standards
- Policy P70 - Energy
- Policy IP3 - Community infrastructure levy (CIL) and Section 106 planning obligations
- Policy IP6 - Monitoring development
- Policy IP7 - Statement of Community Involvement

### Relevant Local-level Supplementary Planning Documents

10. The relevant supplementary planning documents and guidance documents from the local development plan are as follows:
  - Design and Access Statements (SPD, 2007)
  - Section 106 Planning Obligations and Community Infrastructure Levy (SPD, 2015 with 2020 Update)
  - Sustainability Assessment (SPD, 2009)
  - Sustainable Design and Construction (SPD, 2009)

- Sustainable Transport (SPD, 2010)

## CONSULTATION UNDERTAKEN

**Site notice date:** 14/02/2024

**Press notice date:** 15/02/2024

**Case officer site visit date:** n/a

**Neighbour consultation letters sent:**

### Internal services consulted

LBS Transport Policy  
 LBS Archaeology  
 LBS Design & Conservation Team [Formal]  
 LBS Local Economy  
 LBS Ecology  
 LBS Highways Development & Management  
 LBS Highways Licensing  
 Housing Regeneration and Delivery  
 LBS Flood Risk Management & Urban Drain  
 LBS Urban Forester  
 LBS Waste Management  
 formal consultation and response to Pol  
 LBS Design & Conservation Team [Formal]  
 formal consultation and response to Pol  
 LBS Ecology  
 LBS Transport Policy  
 LBS Highways Development & Management  
 LBS Environmental Protection  
 LBS Network Development  
 LBS Community Infrastructure Levy Team  
 LBS Children and Youth Play Areas  
 LBS Transport Policy  
 LBS Highways Development & Management

### Statutory and non-statutory organisations

Environment Agency  
 Great London Authority  
 Historic England  
 London Fire & Emergency Planning Authori  
 London Underground  
 Metropolitan Police Service (Designing O  
 Transport for London  
 Thames Water

## Neighbour and local groups consulted:

7 Neptune Street London Southwark  
 Flat 10 Myles Court 86 Neptune Street  
 41 Neptune Street London Southwark  
 Unit 11A City Business Centre Lower  
 Road  
 First Floor Flat 54 - 64 Culling Road  
 London  
 Unit 7 City Business Centre Lower Road  
 Street Record Culling Road London  
 Street Record Jamaica Road London  
 Unit 2 To 3 City Business Centre Lower  
 Road  
 5 Neptune Street London Southwark  
 Advertising Right Bus Shelter 01280283  
 Opposite Rupack Street Brunel Road  
 London  
 Unit 34 City Business Centre Lower  
 Road  
 Unit 11 City Business Centre Lower  
 Road  
 Irwell Estate Neptune Street London  
 Roof Top Shared 78151 Blick House  
 Neptune Street  
 Street Record Rotherhithe Tunnel  
 London  
 Flat 10 Neptune House Moodkee Street  
 Flat 12 Neptune House Moodkee Street  
 Street Record Mayflower Street London  
 Unit 23 City Business Centre Lower  
 Road  
 St Olavs Church 1 Albion Street London  
 Unit 15A City Business Centre Lower  
 Road  
 35 Neptune Street London Southwark  
 Rotherhithe Hall Neptune Street London  
 Advertising Right 008 Corner Lower  
 Road And Neptune Street London  
 Street Record Neptune Street London  
 Unit 40 City Business Centre Lower  
 Road  
 23 Neptune Street London Southwark  
 Former Public Convenience Albion  
 Street London  
 40 Lower Road London Southwark  
 Car Parking Space City Business Centre  
 Lower Road  
 Unit 28 City Business Centre Lower  
 Road

17 Neptune Street London Southwark  
 36 Irwell Estate Neptune Street London  
 Units 50 And 50A City Business Centre  
 Lower Road  
 Unit 46 City Business Centre Lower  
 Road  
 Flat 37 Blick House Neptune Street  
 22 Irwell Estate Neptune Street London  
 Flat 14 Blick House Neptune Street  
 Neptune House Moodkee Street London  
 84 Neptune Street London Southwark  
 53 Irwell Estate Neptune Street London  
 41 Irwell Estate Neptune Street London  
 Flat 11 Neptune House Moodkee Street  
 14 Irwell Estate Neptune Street London  
 16 Irwell Estate Neptune Street London  
 Unit 33 City Business Centre Lower  
 Road  
 Advertising Right City Business Centre  
 Lower Road  
 Unit 22 City Business Centre Lower  
 Road  
 Flat 29 Blick House Neptune Street  
 Unit 35 City Business Centre Lower  
 Road  
 The Albion 20 Albion Street London  
 Unit 31 City Business Centre Lower  
 Road  
 St Olavs Square Albion Street London  
 Flat 9 Myles Court 86 Neptune Street  
 Flat 7 Myles Court 86 Neptune Street  
 Flat 1 Myles Court 86 Neptune Street  
 Flat 12 Myles Court 86 Neptune Street  
 Flat 4 Myles Court 86 Neptune Street  
 Blick House Neptune Street London  
 Street Record Albion Street London  
 Flat 14 Myles Court 86 Neptune Street  
 Flat 21 46 Lower Road London  
 Flat 9 46 Lower Road London  
 Flat 1 46 Lower Road London  
 62 Irwell Estate Neptune Street London  
 Unit 9 City Business Centre Lower Road  
 Flat 10 Blick House Neptune Street  
 19 Neptune Street London Southwark  
 Unit 48 City Business Centre Lower  
 Road  
 27 Neptune Street London Southwark  
 Flat 2 Neptune House Moodkee Street

51 Irwell Estate Neptune Street London  
 31 Irwell Estate Neptune Street London  
 Flat 5 Blick House Neptune Street  
 Unit 15 City Business Centre Lower  
 Road  
 Myles Court 86 Neptune Street London  
 Flat 33 46 Lower Road London  
 Flat 28 46 Lower Road London  
 Flat 23 46 Lower Road London  
 Flat 18 46 Lower Road London  
 Flat 11 46 Lower Road London  
 Flat 2 46 Lower Road London  
 Flat 7 Neptune House Moodkee Street  
 21 Irwell Estate Neptune Street London  
 2 Irwell Estate Neptune Street London  
 12 Irwell Estate Neptune Street London  
 Unit 17A City Business Centre Lower  
 Road  
 64 Irwell Estate Neptune Street London  
 46 Irwell Estate Neptune Street London  
 4 Irwell Estate Neptune Street London  
 38 Irwell Estate Neptune Street London  
 Flat 36 Blick House Neptune Street  
 Flat 34 Blick House Neptune Street  
 Flat 30 Blick House Neptune Street  
 Flat 3 Blick House Neptune Street  
 Flat 21 Blick House Neptune Street  
 Unit 20 City Business Centre Lower  
 Road  
 Unit 17 City Business Centre Lower  
 Road  
 Unit 10 City Business Centre Lower  
 Road  
 Flat 6 Myles Court 86 Neptune Street  
 Flat 5 Myles Court 86 Neptune Street  
 Flat 37 46 Lower Road London  
 Flat 32 46 Lower Road London  
 Flat 31 46 Lower Road London  
 Flat 16 46 Lower Road London  
 Flat 12 46 Lower Road London  
 Flat 3 46 Lower Road London  
 Memorial Garden Lower Road London  
 58 Irwell Estate Neptune Street London  
 Flat 2 Blick House Neptune Street  
 Unit 29 City Business Centre Lower  
 Road  
 Unit 43 City Business Centre Lower  
 Road  
 43 Irwell Estate Neptune Street London  
 39 Irwell Estate Neptune Street London  
 Unit 12 City Business Centre Lower  
 Road

24 Irwell Estate Neptune Street London  
 20 Irwell Estate Neptune Street London  
 15 Irwell Estate Neptune Street London  
 11 Irwell Estate Neptune Street London  
 Unit 36 City Business Centre Lower  
 Road  
 54 Irwell Estate Neptune Street London  
 5 Irwell Estate Neptune Street London  
 Flat 19 Blick House Neptune Street  
 Flat 12 Blick House Neptune Street  
 Unit 32 City Business Centre Lower  
 Road  
 Flat 13 Myles Court 86 Neptune Street  
 Street Record Risdon Street London  
 Flat 36 46 Lower Road London  
 Flat 26 46 Lower Road London  
 Flat 22 46 Lower Road London  
 55 Irwell Estate Neptune Street London  
 Unit 14 City Business Centre Lower  
 Road  
 Unit 1 City Business Centre Lower Road  
 49 Irwell Estate Neptune Street London  
 Unit 12A City Business Centre Lower  
 Road  
 Unit 45 City Business Centre Lower  
 Road  
 Living Accommodation 20 Albion Street  
 London  
 28 Irwell Estate Neptune Street London  
 18 Irwell Estate Neptune Street London  
 50 Lower Road London Southwark  
 48 Lower Road London Southwark  
 Unit 14A City Business Centre Lower  
 Road  
 Unit 30 City Business Centre Lower  
 Road  
 Unit 38 City Business Centre Lower  
 Road  
 31 Neptune Street London Southwark  
 21 Neptune Street London Southwark  
 15 Neptune Street London Southwark  
 Flat 8 Neptune House Moodkee Street  
 Flat 5 Neptune House Moodkee Street  
 Flat 1 Neptune House Moodkee Street  
 65 Irwell Estate Neptune Street London  
 61 Irwell Estate Neptune Street London  
 48 Irwell Estate Neptune Street London  
 8 Irwell Estate Neptune Street London  
 44 Irwell Estate Neptune Street London  
 32 Irwell Estate Neptune Street London  
 Flat 11 Blick House Neptune Street  
 Flat 8 Myles Court 86 Neptune Street



Flat 39 46 Lower Road London  
 Flat 38 46 Lower Road London  
 Flat 27 46 Lower Road London  
 Flat 14 46 Lower Road London  
 Flat 38 Blick House Neptune Street  
 Flat 26 Blick House Neptune Street  
 6 Irwell Estate Neptune Street London  
 13 Neptune Street London Southwark  
 13 Irwell Estate Neptune Street London  
 Units 49 And 49A City Business Centre Lower Road  
 1 Irwell Estate Neptune Street London  
 43 Neptune Street London Southwark  
 67 Irwell Estate Neptune Street London  
 50 Irwell Estate Neptune Street London  
 35 Irwell Estate Neptune Street London  
 Flat 1 Blick House Neptune Street  
 Flat 11 Myles Court 86 Neptune Street  
 Unit 13A City Business Centre Lower Road  
 Flat 34 46 Lower Road London  
 Flat 29 46 Lower Road London  
 Flat 13 46 Lower Road London  
 Flat 8 46 Lower Road London  
 Flat 5 46 Lower Road London  
 Flat 4 46 Lower Road London  
 52 Irwell Estate Neptune Street London  
 Flat 9 Neptune House Moodkee Street  
 66 Irwell Estate Neptune Street London  
 60 Irwell Estate Neptune Street London  
 Flat 22 Blick House Neptune Street  
 9 Irwell Estate Neptune Street London  
 29 Irwell Estate Neptune Street London  
 23 Irwell Estate Neptune Street London  
 19 Irwell Estate Neptune Street London  
 Units 52 And 52A City Business Centre Lower Road  
 Units 47 And 47A City Business Centre Lower Road  
 Units 44 And 44A City Business Centre Lower Road  
 Units 42 And 42A City Business Centre Lower Road  
 27 Irwell Estate Neptune Street London  
 25 Irwell Estate Neptune Street London  
 Unit 25 City Business Centre Lower Road  
 Unit 40 And 41 City Business Centre Lower Road  
 9 Neptune Street London Southwark  
 37 Neptune Street London Southwark  
 33 Neptune Street London Southwark

45 Irwell Estate Neptune Street London  
 Flat 20 Blick House Neptune Street  
 Unit 26 City Business Centre Lower Road  
 Flat 2 Myles Court 86 Neptune Street  
 Unit 41 City Business Centre Lower Road  
 Unit 5 City Business Centre Lower Road  
 Unit 6 City Business Centre Lower Road  
 Flat 40 46 Lower Road London  
 Flat 35 46 Lower Road London  
 Flat 25 46 Lower Road London  
 Flat 24 46 Lower Road London  
 Flat 19 46 Lower Road London  
 Flat 6 46 Lower Road London  
 46 Lower Road London Southwark  
 Unit 21 City Business Centre Lower Road  
 Flat 6 Blick House Neptune Street  
 3 Irwell Estate Neptune Street London  
 54 Culling Road London Southwark  
 Flat 3 Neptune House Moodkee Street  
 Flat 4 Neptune House Moodkee Street  
 63 Irwell Estate Neptune Street London  
 Unit 27 City Business Centre Lower Road  
 Flat 35 Blick House Neptune Street  
 Flat 17 Blick House Neptune Street  
 Flat 13 Blick House Neptune Street  
 Unit 37 City Business Centre Lower Road  
 29 Neptune Street London Southwark  
 52 Culling Road London Southwark  
 10 Irwell Estate Neptune Street London  
 Unit 24 City Business Centre Lower Road  
 Unit 51 City Business Centre Lower Road  
 17 Irwell Estate Neptune Street London  
 82 Neptune Street London Southwark  
 39 Neptune Street London Southwark  
 11 Neptune Street London Southwark  
 Flat 6 Neptune House Moodkee Street  
 59 Irwell Estate Neptune Street London  
 56 Irwell Estate Neptune Street London  
 42 Irwell Estate Neptune Street London  
 37 Irwell Estate Neptune Street London  
 34 Irwell Estate Neptune Street London  
 Flat 9 Blick House Neptune Street  
 Flat 27 Blick House Neptune Street  
 Flat 18 Blick House Neptune Street  
 Unit 13 City Business Centre Lower

Road  
 Unit 8 City Business Centre Lower Road  
 Flat 3 Myles Court 86 Neptune Street  
 Street Record Moodkee Street London  
 1 Neptune Street London Southwark  
 Units 16 And 16A City Business Centre  
 Lower Road  
 Unit 4 City Business Centre Lower Road  
 Flat 30 46 Lower Road London  
 Flat 20 46 Lower Road London  
 Flat 17 46 Lower Road London  
 Flat 15 46 Lower Road London  
 Flat 10 46 Lower Road London  
 Flat 7 46 Lower Road London  
 Unit 50B City Business Centre Lower  
 Road  
 1 St Olavs Square Albion Street London  
 Flat 25 Blick House Neptune Street  
 Unit 39 City Business Centre Lower  
 Road  
 7 Irwell Estate Neptune Street London

47 Irwell Estate Neptune Street London  
 Flat 33 Blick House Neptune Street  
 40 Irwell Estate Neptune Street London  
 33 Irwell Estate Neptune Street London  
 30 Irwell Estate Neptune Street London  
 26 Irwell Estate Neptune Street London  
 Advertising Right Bus Shelter 01280154  
 Outside St Olaves Nursing Home Lower  
 Road London  
 Neptune Street Park Neptune Street  
 London  
 25 Neptune Street London Southwark  
 57 Irwell Estate Neptune Street London  
 Flat 4 Blick House Neptune Street  
 Flat 28 Blick House Neptune Street  
 Street Record Christopher Jones Square  
 London  
 Unit 39A City Business Centre Lower  
 Road

## CONSULTATION RESPONSES RECEIVED

### Internal services

LBS Transport Policy  
 LBS Archaeology  
 LBS Design & Conservation Team [Formal]  
 LBS Local Economy  
 LBS Ecology  
 LBS Highways Development & Management  
 LBS Flood Risk Management & Urban Drain  
 LBS Urban Forester  
 LBS Waste Management  
 formal consultation and response to Pol  
 LBS Design & Conservation Team [Formal]  
 formal consultation and response to Pol

LBS Environmental Protection  
 LBS Network Development  
 LBS Community Infrastructure Levy Team  
 LBS Transport Policy

### Statutory and non-statutory organisations

Environment Agency  
 Historic England  
 Metropolitan Police Service (Designing O  
 Thames Water

### Neighbour and local groups consulted:

Flat 211 Pacific Wharf 165 Rotherhithe Street London	42 Elephant Lane London SE16 4JD
King Stairs Close London SE16 4JF	Pilgrim House 16 Mayflower Street London
7 niagara court Canada estate London	11 Pilgrim House 16 Mayflower Street London
Flat 49, John Kennedy House Rotherhithe Old Road London	6 King Stairs Close London SE16 4JF
94 Wanlip Lane Leicester LE4 4GF	42 Elephant Lane London SE16 4JD
10 York house 107 Woolwich High street London	7 Niagara Court, Canada estate London Rotherhite Village London SE16
8 Pine House London se167de	Flat 8, Pilgrim House 16 Mayflower Street London
Unit 8 City Business Centre Lower Road	Flat 5, United House Mayflower St London
54a Wilson Grove Bermondsey London	26 wolfe cresecent LONDON SE16 6SF
Bosco 281 Jamaica Road London	
5 king stairs close London SE16 4JF	

7 united house Mayflower Street  
Rotherhithe Village  
1 King Stairs Close London SE16 4JF  
55 Princes Court London Southwark  
4 Pilgrim House 16 Mayflower Street  
London

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**OPEN**

**MUNICIPAL YEAR 2024-25**

**COMMITTEE:**

**PLANNING COMMITTEE (MAJOR APPLICATIONS) A**

**NOTE:**

Original held in Constitutional Team; all amendments/queries to Gerald Gohler, Constitutional Team, Tel: 020 7525 7420

**OPEN**

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Councillor Kath Whittam (Vice-Chair)	1		
Councillor Sam Dalton	1		
Councillor Sarah King	1		
Councillor Reginald Popoola	1		
Councillor Cleo Soanes	1		
<b>Electronic Copies (No paper)</b>		<b>COMMUNICATIONS TEAM (Electronic)</b>	
Councillor Nick Johnson		Eddie Townsend	
Councillor John Batterson (reserve)			
Councillor Ellie Cumbo (reserve)		<b>LEGAL TEAM</b>	
Councillor Sam Foster (reserve)		Ravinder Johal	1
Councillor Jon Hartley (reserve)			
Councillor Portia Mwangangye (reserve)		<b>CONSTITUTIONAL TEAM</b>	
Councillor Margy Newens (reserve)		Gerald Gohler	2
Councillor Emily Tester (reserve)			
<b>MEMBERS OF PARLIAMENT (Electronic)</b>		<b>TOTAL PRINT RUN</b>	10
Neil Coyle MP, House of Commons, London, SW1A 0AA			
Miatta Fahnbulleh MP, House of Commons, London, SW1A 0AA			
Helen Hayes MP, House of Commons, London, SW1A 0AA			
		List Updated: 24 September 2024	